

Planning Committee Agenda

5 April 2022 at 7pm

Council Chamber, Civic Centre, Chelmsford

Membership

Councillor J A Sosin (Chair)

and Councillors

L Ashley, S Dobson, P Hughes, R J Hyland, J Lardge,
R Lee, G H J Pooley, R J Poulter, T E Roper,
E Sampson, C Shaw and I Wright

Local people are welcome to attend this meeting remotely, where your elected Councillors take decisions affecting YOU and your City.

There is also an opportunity to ask your Councillors questions or make a statement. These have to be submitted in advance and details are on the agenda page. If you would like to find out more, please telephone Brian Mayfield in the Democracy Team on Chelmsford (01245) 606923 email brian.mayfield@chelmsford.gov.uk

PLANNING COMMITTEE

5 April 2022

AGENDA

1. CHAIR'S ANNOUNCEMENTS

2. APOLOGIES FOR ABSENCE

3. DECLARATIONS OF INTEREST

All Members are reminded that they must disclose any interests they know they have in items of business on the meeting's agenda and that they must do so at this point on the agenda or as soon as they become aware of the interest. If the interest is a Disclosable Pecuniary Interest they are also obliged to notify the Monitoring Officer within 28 days of the meeting.

4. MINUTES

To consider the minutes of the meeting on 8 February 2022

5. PUBLIC QUESTION TIME

Any member of the public may ask a question or make a statement at this point in the meeting, provided that they have submitted their question or statement in writing in advance. Each person has two minutes and a maximum of 20 minutes is allotted to public questions/statements, which must be about matters for which the Committee is responsible. The Chair may disallow a question if it is offensive, substantially the same as another question or requires disclosure of exempt or confidential information. If the question cannot be answered at the meeting a written response will be provided after the meeting.

Where an application is returning to the Committee that has been deferred for a site visit, for further information or to consider detailed reasons for refusal, no further public questions or statements may be submitted.

Any member of the public who wishes to submit a question or statement to this meeting should email it to committees@chelmsford.gov.uk 24 hours before the start time of the meeting. All valid questions and statements will be published with the agenda on the website at least six hours before the start time and will be responded to at the meeting. Those who have submitted a valid question or statement will be entitled to put it in person at the meeting.

6. 13 CHERRY GARDEN ROAD, GREAT WALTHAM, CHELMSFORD – 21/02397/FUL

7. 10-12 HANBURY ROAD, CHELMSFORD – 19/01916/S73

8. 275 BADDOW ROAD, GREAT BADDOW, CHELMSFORD – 22/00014/FUL

9. PLANNING APPEALS

MINUTES
of the
PLANNING COMMITTEE
held on 8 February 2022 at 7:00pm

Present:

Councillor J A Sosin (Chair)

Councillors L Ashley, S Dobson, P Hughes, R J Hyland, J Lardge, R Lee,
G H J Pooley, R J Poulter, T E Roper, E Sampson, C Shaw and I Wright

Also present: Councillor M Bracken

1. Chair's Announcements

For the benefit of the public, the Chair explained the arrangements for the meeting.

2. Apologies for Absence

There were no apologies for absence.

3. Declarations of Interest

All Members were reminded that they must disclose any interests they knew they had in items of business on the meeting's agenda and that they must do so at this point on the agenda or as soon as they became aware of the interest. If the interest was a Disclosable Pecuniary Interest they were also obliged to notify the Monitoring Officer within 28 days of the meeting. Any declarations are recorded in the relevant minute below.

4. Minutes

The minutes of the meeting on 11 January 2022 were confirmed as a correct record.

5. Public Question Time

Questions were asked and statements made by members of the public on Items 6 and 7. Details are recorded under the relevant minute number below.

6. 268 Springfield Road, Chelmsford – 19/02109/S73/1

The Committee considered an application for a variation of condition 2 to approved permission 19/02109/S73/1 in respect of 268 Springfield Road, Chelmsford (the demolition of the existing garage, a proposed replacement dwelling, with detached pool house and tennis court, the demolition of the existing cart lodge and the construction of a single storey extension to the side elevation). A Green Sheet of additions and alterations was circulated at the meeting, summarising the comments received from neighbours on the application.

A member of the public and a ward councillor attended the meeting to speak against the application. A representative of the applicant was present to speak in support of it. Those who opposed the application acknowledged that a previously refused proposal had been amended by this application to position the proposed outbuilding further from the neighbouring property at 270 Springfield Road. However, they remained of the view that the building would be overbearing and detrimental to the amenity of the occupants of the neighbouring property and contrary to Policy DC4. This was in part due to the difference in land levels between the two sites and an error in the drawings which meant that the new proposed structure would be higher than those originally proposed and refused.

The representative of the applicant accepted that there had been an error in the drawings for the outbuilding which had led to it being built 20cm higher than shown in the planning application. However, it met all technical standards and the proposed finish would reduce the visual impact.

Officers informed the Committee that whilst the proposed building was higher than that originally proposed, the heights were comparable and the structure was further from the neighbouring property. Its relationship with that property and its design were acceptable.

The majority of the Committee accepted the officers' advice and saw no reason to justify refusal of the application.

RESOLVED that planning application 19/02109/S73/1 in respect of 268 Springfield Road, Chelmsford be approved, subject to the conditions set out in the report.

(7.03pm to 7.32pm)

7. Dawson Field, Danbury Recreation Ground, Mayes Lane, Danbury – 21/02076/FUL

Councillor S Dobson declared a non-pecuniary interest in this application but this did not bar her participation in its consideration.

An application had been received for the installation of Jungle Dome play equipment on Dawson Field, Danbury Recreation Ground, Danbury. A member of Danbury Parish Council attended the meeting to speak in support of the proposal.

The Committee welcomed the proposed play area and the benefits it would bring to children's health and wellbeing.

RESOLVED that planning application 21/02076/FUL in respect of Dawson Field, Danbury Recreation Ground, Mayes Lane, Danbury be approved, subject to the conditions set out in the report.

(7.32pm to 7.44pm)

8. Car Park, Springfield Hall Park, Arun Close, Chelmsford – 21/02493/FUL

The Committee had before it an application for the installation of 12 CCTV columns along the length of the area known as the Bunny Walks between Springfield Hall Park and the rear of the Riverside Retail Park. A Green Sheet of additions and alterations was circulated at the meeting, summarising the comments received from neighbours on the application.

The Committee welcomed the improvements the proposal would make to public safety.

RESOLVED that planning application 21/02493/FUL in respect of the car park at Springfield Hall Park, Arun Close, Chelmsford be approved, subject to the conditions set out in the report.

(7.44pm to 7.49pm)

9. Planning Appeals

RESOLVED that the information on appeal decisions between 22 December 2021 and 27 January 2022 be noted.

(7.49pm to 7.50pm)

The meeting closed at 7.50pm

Chair

PLANNING POLICY BACKGROUND INFORMATION

The Chelmsford Local Plan 2013 – 2016 was adopted by Chelmsford City Council on 27th May 2020. The Local Plan guides growth and development across Chelmsford City Council's area as well as containing policies for determining planning applications. The policies are prefixed by 'S' for a Strategic Policy or 'DM' for a Development Management policy and are applied across the whole of the Chelmsford City Council Area where they are relevant. The Chelmsford Local Plan 2013-3036 carries full weight in the consideration of planning applications.

SUMMARY OF POLICIES REFERRED TO IN THIS AGENDA

- DM23** Policy DM23 - High Quality & Inclusive Design - Planning permission will be granted for development that respects the character and appearance of the area in which it is located. Development must be compatible with its surroundings having regard to scale, siting, form, architecture, materials, boundary treatments and landscape. The design of all new buildings and extensions must be of high quality, well proportioned, have visually coherent elevations, active elevations and create safe, accessible and inclusive environments.
- DM29** Policy DM29 - Protecting Living & Working Environments - Development proposals must safeguard the amenities of the occupiers of any nearby residential property by ensuring that development is not overbearing and does not result in unacceptable overlooking or overshadowing. Development must also avoid unacceptable levels of polluting emissions, unless appropriate mitigation measures can be put in place and permanently maintained.

VILLAGE DESIGN STATEMENTS

VDS: Sets out the local community's view on the character and design of the local area. New development should respect its setting and contribute to its environment.

NATIONAL PLANNING POLICY FRAMEWORK

The National Planning Policy Framework (NPPF) was published in February 2019. It replaces the first NPPF published in March 2012 and almost all previous national Planning Policy Statements and Planning Policy Guidance, as well as other documents.

Paragraph 1 of the NPPF sets out the Government's planning policies for England and how these should be applied. Paragraph 2 confirms that planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The NPPF is a material consideration in planning decisions and should be read as a whole.

Paragraph 7 says that the purpose of the planning system is to contribute to the achievement of sustainable development. Achieving sustainable development meant that the planning system has three overarching objectives; an economic objective; a social objective; and an environmental objective. A presumption in favour of sustainable development is at the heart of the Framework.

The presumption in favour of sustainable development does not change the statutory status of the development plan as the starting point for decision making. Where a planning application conflicts with an up-to-date development plan, permission should not usually be granted. Local planning authorities may take decisions that depart from an up-to-date development plan, but only if material considerations in a particular case indicate that the plan should not be followed.



Planning Committee

Application No	:	21/02397/FUL Full Application
Location	:	13 Cherry Garden Road Great Waltham Chelmsford Essex CM3 1DH
Proposal	:	Formation of vehicle access across verge
Applicant	:	Mr Franco Amue
Agent	:	Mr Chris Veasey
Date Valid	:	13th December 2021

Appendices:

Appendix 1	Consultations
Appendix 2	Drawings

1. Executive summary

- 1.1. The application has been referred to the Planning Committee by the local ward councillor to allow for the planning merits of the proposal to be fully considered.
- 1.2. The proposal is for a dropped kerb and vehicle access over an existing green sward to allow for cars to be parked on the frontage at No 13 Cherry Garden Road. The access would be edged with 20no. 300mm high wooden posts placed 1.5m apart.
- 1.3. The proposed development is acceptable in terms of highway safety.
- 1.4. The proposed development would create a visually prominent and unattractive feature which would result in a significant visual impact, harmful to the character of the street scene.
- 1.5. The application is recommended for refusal.

2. Description of site

- 2.1. The property is located within the Defined Settlement of Great Waltham, where the principle of development is acceptable.
- 2.2. The property is a two-storey semi-detached dwelling, set back from the highway.
- 2.3. This part of Great Waltham is characterised by substantial green swards that lie between the road and houses. The swards are of variable size and siting but overall contribute positively to the character of the village. No 13 sits behind a large, attractive green sward which contains a number of attractive mature trees.

3. Details of the proposal

- 3.1. This application seeks permission for a dropped kerb and vehicle access.
- 3.2. The dropped kerb would be 2.9m wide, set 7m from the southern edge of the greensward.
- 3.3. The access would be curved in shape and extend back across the green sward for a distance of 15m. It would widen at the property frontage to measure 4m.
- 3.4. The proposed access would be laid as a re-enforced grass access with permeable base
- 3.5. 300mm high wooden posts set 1.5m apart would be located along each side of the access totalling 20 in number.

4. Other relevant applications

- 4.1. 20/01083/FUL - Refused 23rd September 2020

Proposed formation of access across verge. This proposal was refused for three reasons. 1) harmful visual impact, 2) highway safety conflict between pedestrians and cars, 3) highway safety lack of suitable visibility

4.2. 20/01537/FUL - Refused 22nd November 2020

Proposed formation of access across verge. This proposal was refused for two reasons. 1) harmful visual impact, 2) highway safety lack of suitable visibility. A subsequent appeal was dismissed.

4.3 21/00008/REFUSE – Appeal dismissed 02 July 2021

Proposed formation of access across verge. Refused on the grounds of harmful visual impact and highway safety. The appeal was dismissed on the impact to highways safety. The inspector suggested the harm to visual impact could be overcome.

5. Summary of consultations

- Great Waltham Parish Council – No comment
- Property Services – loss of valuable amenity space, will disturb the overall look and ambience of the area, fears of others using the access, possibility of parking on the access instead of the property frontage, could set a precedent for similar applications or could appear that driving over the grass sward is acceptable, the dropped kerb results in a loss of street parking, restricted sight line when using the access, impact to the tree roots, easement would not be granted to council owned land
- Essex County Council Highways – the proposal is acceptable subject to conditions
- Local residents – no comments received.

6. Planning considerations

Main Issues

- 6.1. Impact on highway safety
- 6.2. Impact on the appearance of the green sward.

Planning Consideration

- 6.3. The previous appeal decision is a material consideration. The Planning Inspector was of the opinion that the position of the access and dropped kerb was unsafe because existing trees limited the available visibility for cars approaching the highway from the new access. The position of the dropped kerb and access has changed and is now proposed further north and further from the southernmost tree on the green sward. The highway authority has no objection to the revised position of the dropped kerb and access. The proposal is acceptable in terms of highway safety.
- 6.4. The Inspector in the previous appeal described the green sward as one of a number that contribute to the character of the village, providing open green space within the street scene. The Inspector made comment about how the access that was proposed could be laid such that it had a permeable

base allowing grass to grow through and in time, once grass was established, create an access across the sward that would not result in a significant visual impact.

- 6.5. The proposed works are for a reinforced permeable grass base together with multiple 300mm high timber posts along its length. No information is provided about the construction of the proposed base. A lightweight construction would unlikely be robust enough in the long term to maintain an acceptable appearance and would become rutted and untidy. Full details of the construction could however be sought by condition to ensure a robust construction that would minimise the impact of its appearance in the long term. Irrespective of the quality of the access base, the introduction of multiple timber posts, necessary to prevent cars parking on the green sward, clearly defines the access route and visually breaks up the attractive sward. This is not the visual effect the Inspector was envisioning. Whilst the Inspector was positive in his thoughts about the construction of the access, the scheme proposed still results in a significant visual impact harmful to the attractive character of the green sward. Officer's view is the proposal would result in a significant visual impact harmful to the character of the area.

Other matters

- 6.6. The loss of on-street parking would be offset by the parking of vehicles on the property frontage.
- 6.7. The proposed access is located a reasonable distance from the existing trees as to not damage their health. Planning conditions could be used to ensure suitable construction methods.
- 6.8. The need to obtain an easement from the landowner is not a planning consideration.

7. Planning Obligations

- 7.1. This application is not CIL liable.

RECOMMENDATION

The Application be REFUSED for the following reason:-

Reason 1

Policy DM23 of the Chelmsford Local Plan requires all development proposals to respect the character and appearance of the area in which it is located. The proposed vehicle access and cross over together with the installation of numerous timber posts would result in a significant visual impact that would be harmful to the undeveloped, open and verdant character and appearance of the street and would therefore fail to comply with policy DM23.

Positive and Proactive Statement

The Local Planning Authority provided advice to the applicant before the application was submitted but the applicant did not take on board all or some of that advice. The local planning authority has identified matters of concern with the proposal and the report clearly sets out why the development fails to comply with the adopted development plan. The report also explains why the proposal is contrary to the objectives of the National Planning Policy Framework to deliver sustainable development.

Great Waltham Parish Council

Comments
17.01.2022 - The Parish Council has no comment.

Property Services

Comments
<p>10.01.2022 - Corporate Property Services object to this application for the following reasons:</p> <ol style="list-style-type: none"> 1. The loss of valuable amenity land and footpath to the surrounding properties. 2. The property is set far back from the road and a driveway will disturb the overall look and ambience of the area. 3. If allowed, it is feared that other near-by residents would also make use of the access. 4. There would be the possibility of vehicles then parking along the new access, and not in the front garden. 5. If permitted, this could set a precedent for other similar applications by neighbours. The proposal to install a reinforced grass accessway on permeable base will give the appearance of crossing grass, which will encourage neighbours to cross over the non-reinforced grass in the remainder of the greensward in this road. 6. The required dropped kerb would effectively require up to two car-lengths of highway, resulting in a loss of much needed on street car parking so as not to obstruct the new drop kerb. 7. There would be a restricted sight line when exiting the new access in between other cars parked tightly in the road.

8. The potentially fatal effect on the roots of two large trees close to both sides of the proposed access drive.

Part of the land in question belongs to CCC, who also owns the greensward immediately adjacent, and we do not support this change of use.

An easement would need to be obtained from the Council to cross the greensward and this would not be given for the reasons outlined above.

Essex County Council Highways

Comments

From a highway and transportation perspective the impact of the proposal is acceptable to the Highway Authority subject to the following conditions:

1. The vehicular access and drive, shown in the Proposed Access Layout Plans, shall be constructed at right angles to the highway boundary and to the existing carriageway as shown in principle in the Proposed Access Layout Plan. The width of the access at its junction with the highway shall not exceed 3 metres and shall be provided with an appropriate dropped kerb vehicular crossing.

Reason: To ensure that vehicles can enter and leave the highway in a controlled manner in the interest of highway safety in accordance with policy DM1.

2. No unbound material shall be used in the surface treatment of the vehicular access within 6 metres of the highway boundary.

Reason: To avoid displacement of loose material onto the highway in the interests of highway safety in accordance with policy DM1.

3. The vehicle parking space 3.5 metres wide by 5 metres, shown in the Proposed Access Layout Plans, shall be retained in this form at all times.

Reason: To ensure that on street parking of vehicles in the adjoining streets does not occur in the interests of highway safety and that appropriate parking is provided in accordance with Policy DM8.

Informative Construction Note for the Driveway over the City Council Greensward

The new driveway and associated dropped kerb will cross land owned by the City Council. The applicant will require the grant of an access licence to cross the Council's land once all necessary consents and planning permission has been obtained.

The crossover construction should be of a porous material (such as permeable asphalt and or a grass reinforcement system combination) or incorporate appropriate drainage. To avoid creation of maintenance problems, the driveway should be laid flush to existing ground levels to avoid damage to mowing equipment i.e. from raised edges. There should be a requirement to reinstate any damage to the greensward arising from the works.

The above conditions are to ensure that the proposal conforms to the relevant policies contained within the County Highway Authority's Development Management Policies, adopted as County Council Supplementary Guidance in February 2011.

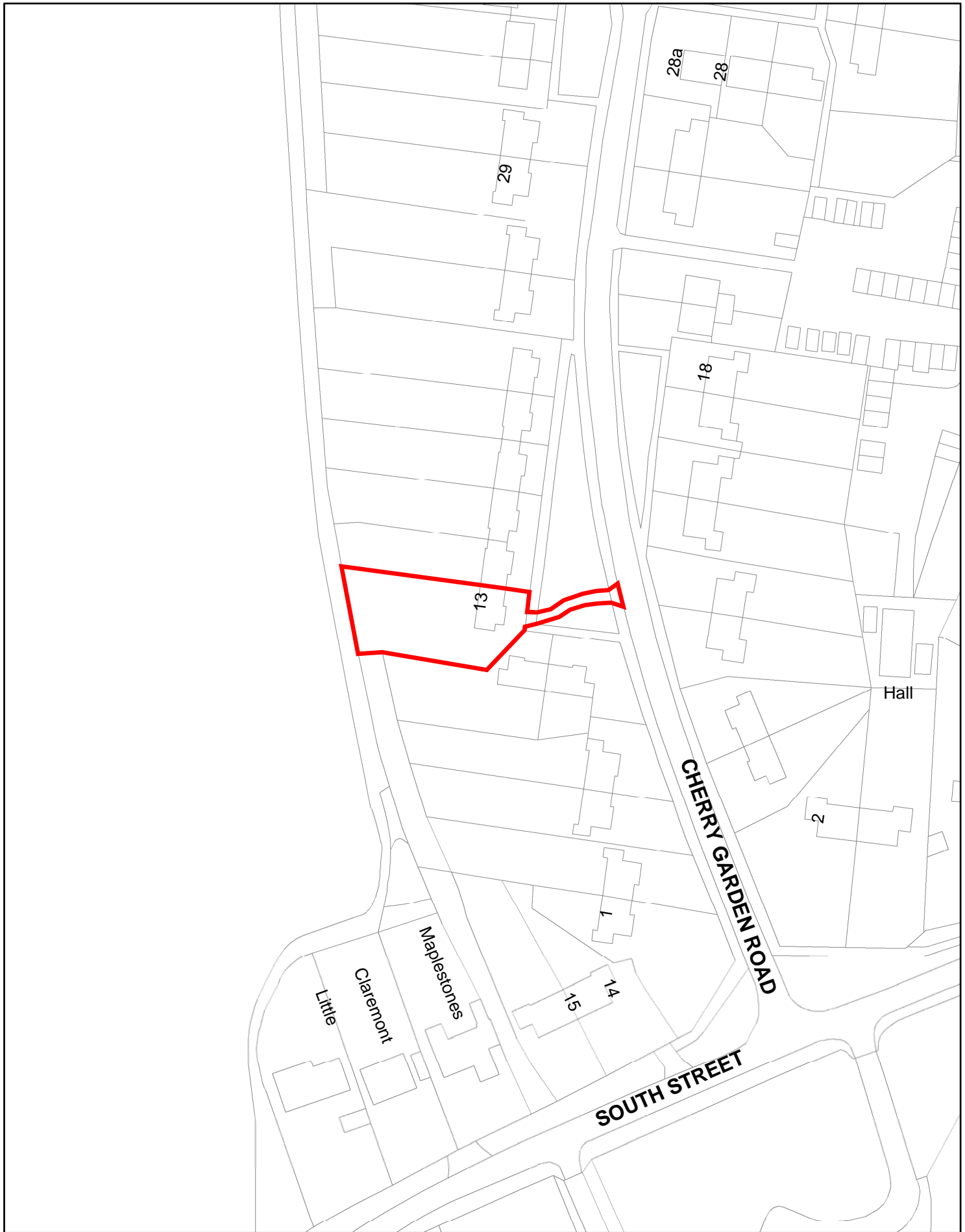
Please include the Informative for condition 1 above:

All work within or affecting the highway is to be laid out and constructed by prior arrangement with, and to the requirements and satisfaction of, the Highway Authority, details to be agreed before the commencement of works.

The applicants should be advised to contact the Development Management Team by email at development.management@essexhighways.org

Local Residents

Comments
Representations received – None



0 10 20 40 Metres

1:1,000



Planning Committee
****21/02397/FUL****

Planning & Development Management
Directorate for Sustainable Communities

PO Box 7544 Civic Centre
Duke Street, Chelmsford, CM1 1XP

Telephone: 01245 606826



569300m

569400m

213300m

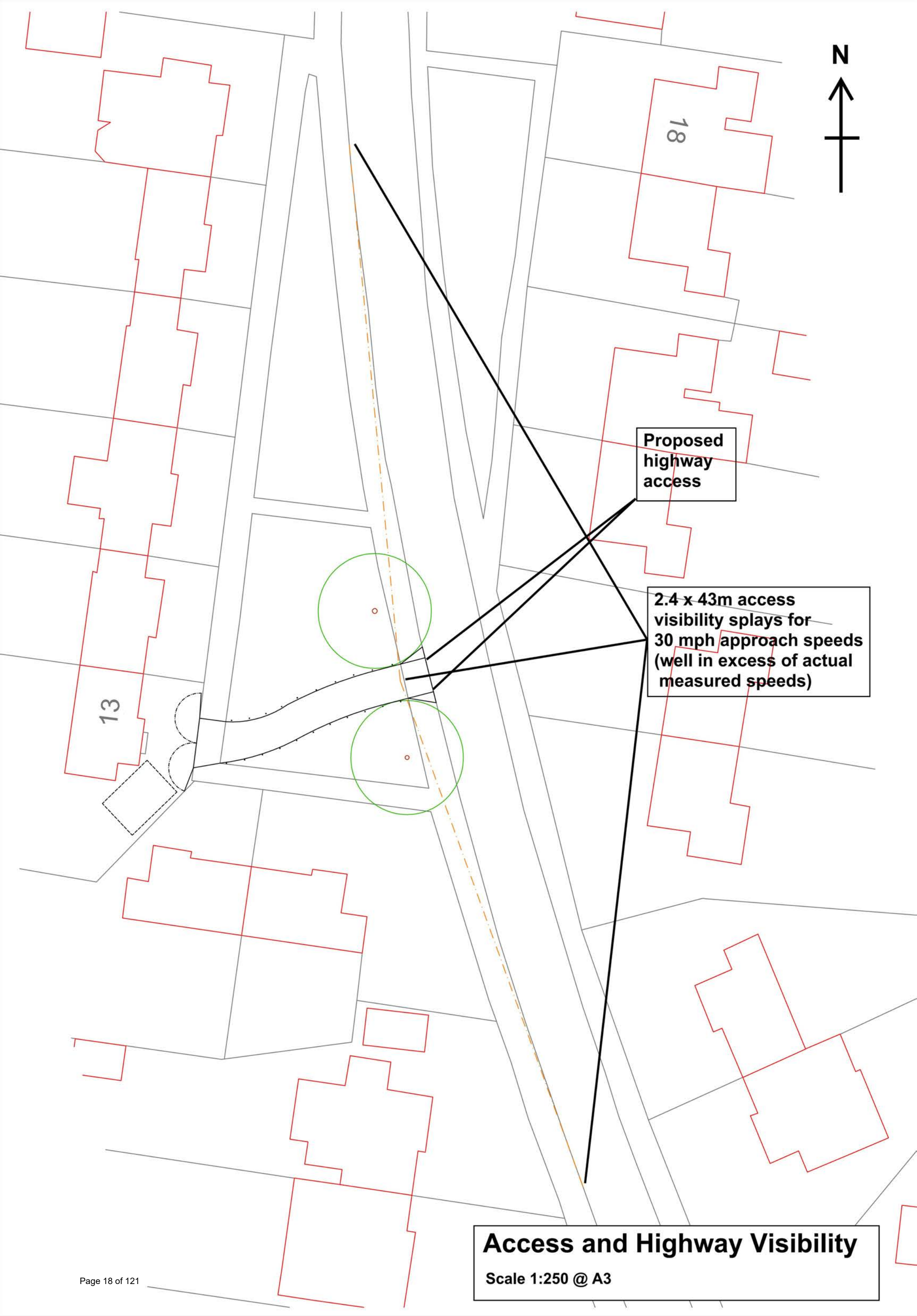


213200m

213100m

Site Location Plan

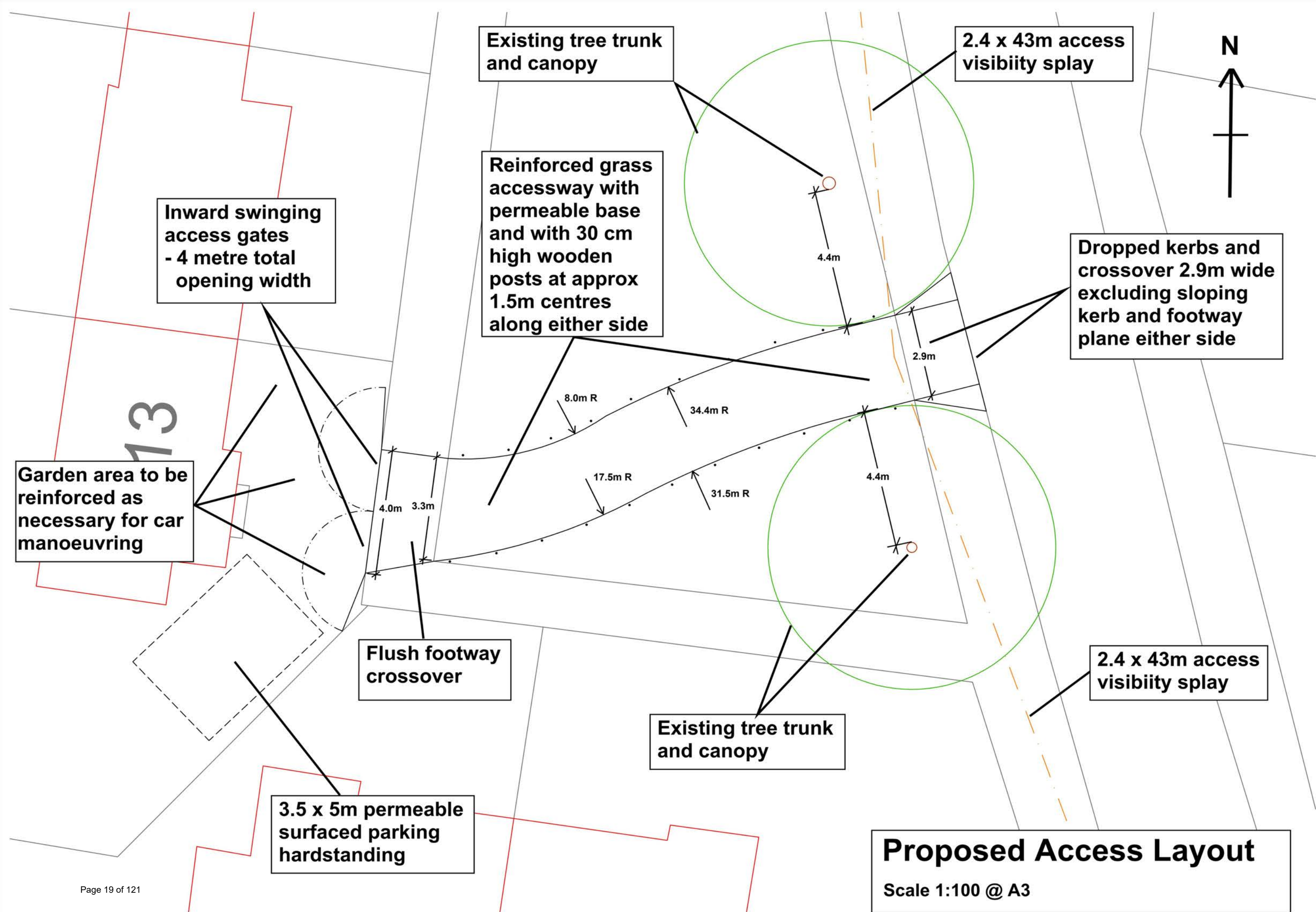
Scale 1:1250 @ A4

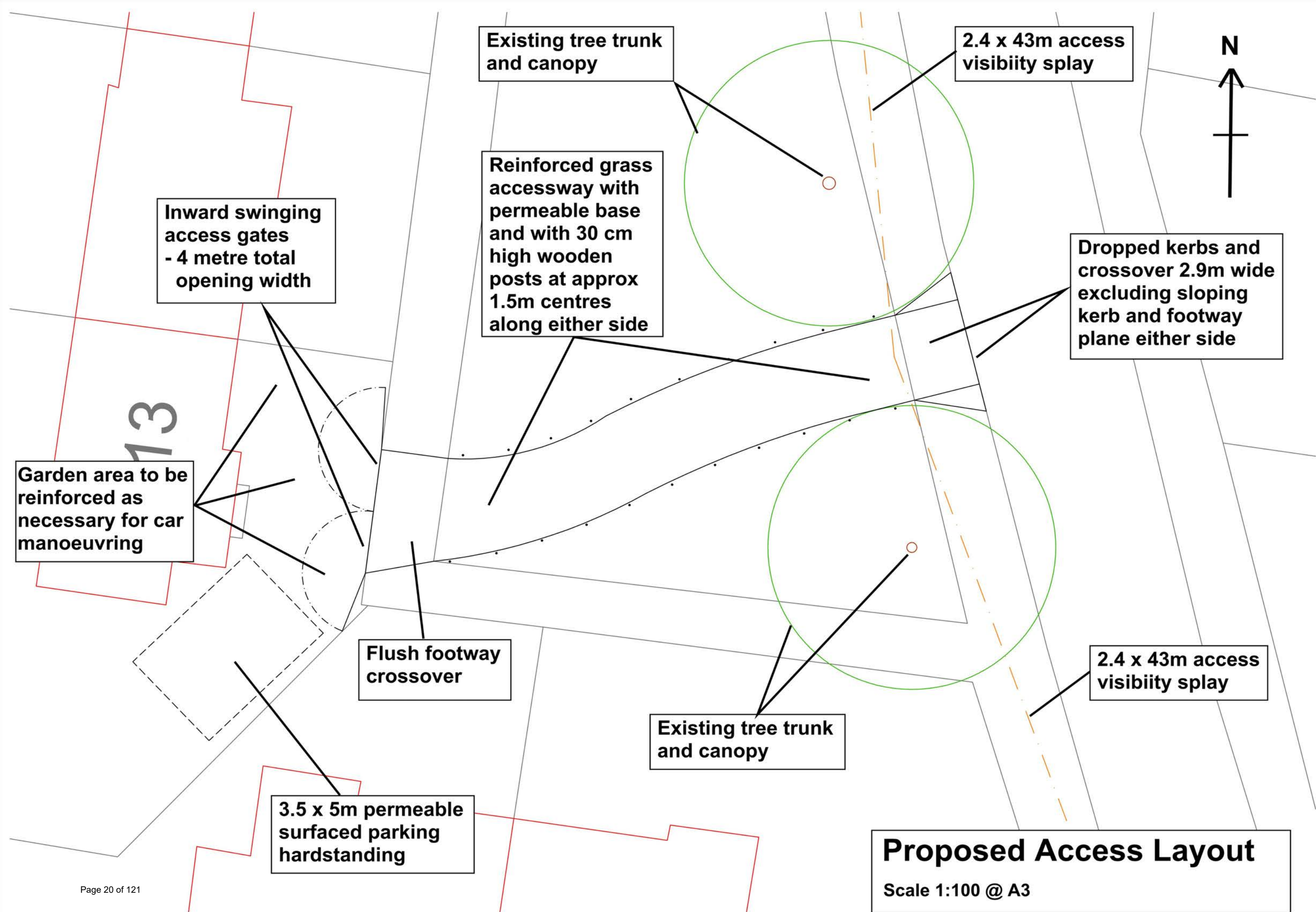


**Proposed
highway
access**

**2.4 x 43m access
visibility splays for
30 mph approach speeds
(well in excess of actual
measured speeds)**

Access and Highway Visibility
Scale 1:250 @ A3







Planning Committee

Application No	:	19/01916/S73 Section 73
Location	:	10 - 12 Hanbury Road Chelmsford Essex CM1 3AE
Proposal	:	Variation to condition 4 of approved permission 19/01916/FUL - (Rear and side extension. Construction of three metre high Acoustic fencing. Retrospective permission for exterior works to building). Alteration to the finish of the rear elevation sloped roof.
Applicant	:	Mr G Toomey Laindon Trading - PGR Timber and Builders Merchants Ltd
Agent	:	Robert Kemball
Date Valid	:	6th April 2021

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Appendices:

Appendix 1	Consultations
Appendix 2	Drawings
Appendix 3	Noise Report and Technical Note

1. Executive summary

- 1.1. This application is referred to Planning Committee at the request of a local ward member due to concerns in relation to the impact of the development on neighbouring amenity through noise and light disturbance.
- 1.2. The application site is located within the Chelmsford Urban Area. The site forms part of Widford Industrial Estate and falls within a designated Employment Area.
- 1.3. The immediate character of the site is industrial with built form defined by utilitarian warehouse type buildings and a variety of commercial and light industrial uses throughout the Estate. To the immediate west of the site the land is open and undeveloped and falls within the Green Belt. To the north of the site are residential properties situated along Longacre. These properties are semi-detached and have rear gardens between 15 and 20 metres in depth.
- 1.4. The principle of using the site as a builders' merchant business has been established as being acceptable under planning permission 19/01917/FUL. The use of the site is not a consideration with the current proposal.
- 1.5. The current proposal seeks retrospective approval for alterations to the form and design of the rear addition to 10 and 12 Hanbury Road. Planning permission for the rear enlargement was granted under planning permission 19/01916/FUL.
- 1.6. The constructed rear addition is lower by 1.3m in comparison to the previously approved rear extension. The eaves, 4.3m in height from ground level, have been constructed as approved. There are no openings on the north side of the building or extension facing the residential properties within Longacre. A narrow strip of land, approximately 1.5m wide, between the extension and the rear gardens of neighbouring properties remains. This space is used to allow maintenance for the building.
- 1.7. The extension retains a utilitarian warehouse appearance and is in keeping with the surrounding character of the area. The external finishes including the roof materials of the rear extension have been previously agreed as part of a discharge of planning condition application. The extension has been constructed using the approved materials.
- 1.8. Local residents have expressed concerns that due to the different form and design of the extension, the site generates more noise and light pollution which amounts to an unacceptable level to the detriment of the amenity of the residents along Longacre.
- 1.9. A noise report was requested by Public Health and Protection Service to confirm that the predicted sound reduction qualities of the warehouse building outlined in previous acoustic reports for this site were correct and installed as previously proposed under approved schemes 19/01917/FUL and 19/01916/FUL. The noise report indicates that the values obtained during testing are in line with the previous predictions. This has been verified by Council officers who attended testing during working hours of the industrial premises. As such the applicant has demonstrated that the construction of the rear enlargement meets the criteria outlined in the original acoustic report, which were considered acceptable.
- 1.10. The rear extension does not contain any openings or translucent roof materials within its north elevation facing neighbouring properties. No external means of light have been installed. The

alteration to the form and design of the rear extension does not result in any additional light pollution. The amended development maintains a satisfactory relationship with the neighbouring houses to the north.

- 1.11. The retrospective proposal for the rear enlargement is acceptable.

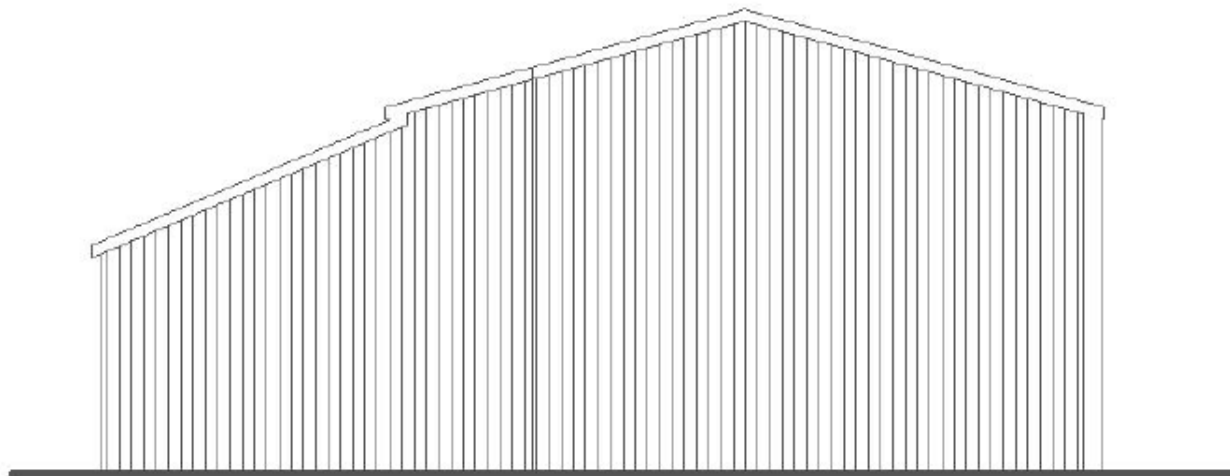
2. Description of site

- 2.1. The site is located within Widford Industrial Estate, a designated Employment Area and a location where the Council's planning policies seek to direct economic growth and employment through the creation of new jobs.
- 2.2. The site is accessed from Hanbury Road using two points of access which formerly served an area of parking to the front of the unit at no. 14. The site is entirely laid to concrete hardstanding around the buildings. A narrow corridor of hard surfaced space between the buildings and neighbours to the north exists around the northern building (nos. 10 and 12).
- 2.3. The site is bounded by industrial uses on two sides with open land to the west (Green Belt) and residential properties to the north along Longacre. Houses in Longacre border the entire northern boundary of Widford Industrial Estate where industrial and commercial units are occupied by companies such as Bookers Wholesale and APL Light Distributors. This area of the Industrial Estate, where it meets the residential estate is characterised by large wholesale premises whose business practice involve storing goods prior to retail sale from site.
- 2.4. There is a noticeable difference in ground level between the rear of nos. 10-12 Hanbury Road and the gardens of Longacre, with the industrial unit being on lower ground than the neighbouring houses.
- 2.5. The existing buildings on site, including the application building, are large and are two storey in nature, around 8 metres in height from ground level. They are simple in design with low pitched roofs and linear proportions. The buildings are constructed from utilitarian materials with a single storey course of brick and sheet metal panelling covering the walls and roofs. The units surrounding the site are of similar design, size and proportion.

3. Details of the proposal

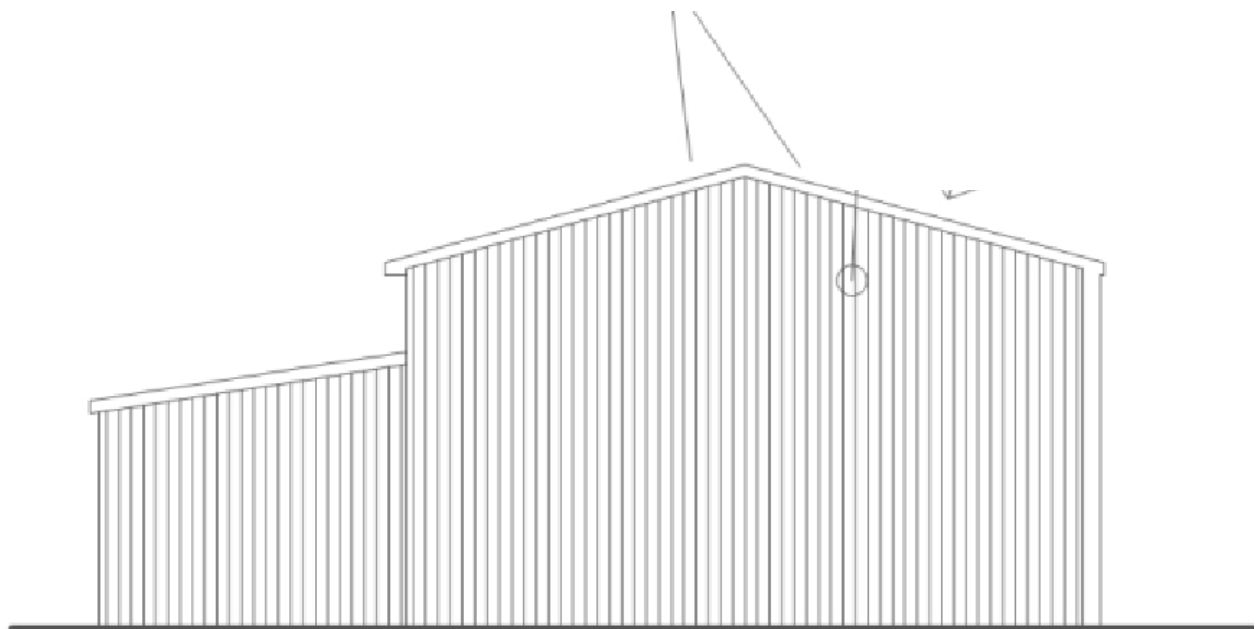
- 3.1. The application seeks retrospective permission to retain a 5m deep rear extension which has not been constructed in accordance with the approved plans under planning permission 19/01916/FUL.
- 3.2. The change consists of the lowered height of the roof which has been constructed 1.3m lower than proposed previously. The height of the eaves remained unchanged, 4.3m from ground level.

Approved profile



End Elevation

As built profile



Proposed End Elevation

- 3.3. The extension has been constructed from materials approved under a discharge of planning condition submission (the approved under 19/01916/DOC1). The approved are materials:
- Cladding in Vandyke Brown Colour with Yellow Trim;
 - Roof in Matt Anthracite.
- 3.4. The walls of the enlargement have been constructed out of blockwork. The north elevation of the extension does not contain any openings.
- 3.5. No external lighting has been installed on the extension.
- 3.6. A rear alleyway 1.5m wide has been retained, as previously approved, between the rear extension and the rear boundaries of the neighbouring properties in Longacre. This space is required for maintenance of the building.

4. Other relevant applications

- 19/01916/FUL Approved 14th July 2020 - Committee Decision
Rear and side extension. Construction of three-metre-high acoustic fencing. Retrospective permission for exterior works to building.
- 19/01916/DOC/1 Discharged 9th November 2020
Condition 2 - details of fencing, condition 3 - materials of external walls, condition 4 - details of materials.
- 19/01917/FUL Approved 14th July 2020 – Committee Decision
Change of use from b2 (printing press) and b8 (storage) to sui-generis (builders merchants)
- 19/01917/DOC/1 Discharged 9th November 2020
Condition 9 - external lighting, condition 10 - roof finish, condition 11 - interior lighting.

5. Summary of consultations

- 5.1. Public Health & Protection Services – the consultation comments provided following the submission of the confirmation acoustic report on 15th February 2022:
- The submitted Acoustic Technical Note has been reviewed and appears satisfactory. The measurement test was conducted with an officer from PHPS present to oversee the operation and confirm requirements. The test was carried out at the request of this Service to check that the predicted sound reduction qualities of the warehouse building outlined in previous acoustic reports for this site were correct. The report indicates that the values obtained during this test are in line with the previously predictions, it is therefore considered that the applicant has demonstrated that the construction of the warehouse meets the criteria outlined in the original acoustic report.
- 5.2. Local Residents – following concerns raised during the life of the application:

Noise

- additional noise due to inclusion of an access gate
- concerns raised that the building has no soundproofing
- lights are always on resulting in light pollution
- a part of the building has been sublet to HSS Hire which was not part of the original permission;
- the noise from HSS Hire has not been assessed within the noise report
- criticism expressed about the initial noise reports;
- lower roof of rear extension allows for more noise escape;

Materials

- concerns raised about the approved external finishes and installed gates, which are reflective of the sun and leak noise and light into the neighbours gardens and properties;

No representations were received following the submission of the latest amended noise report submitted on 15th of February 2022, which includes the noise measurements taken from the rear gardens of the adjoining residential properties in the presence of a PHPS officer.

6. Planning considerations

Main Issues

- 6.1. Whether the altered form of the rear enlargement adversely impacts on the residential amenity of the properties to the north of the application site in terms of noise and light pollution.

Residential Amenity

- 6.2. Planning Policy DM29 requires that development safeguards the amenities of the occupiers of any nearby residential property by ensuring that the development is not overbearing and does not result in unacceptable overlooking or overshadowing. The development shall also not result in excessive noise, activity or vehicle movements; and is compatible with neighbouring or existing uses in the vicinity of the development and protects the wider amenities of the area by ensuring that the development, and its relationship with the surrounding area, avoids unacceptable levels of polluting emissions by reason of noise, light, smell, fumes, vibrations or other issues, unless appropriate mitigation measures can be put in place and permanently maintained.
- 6.3. The National Planning Practice Guidance document provides advice on how planning can manage potential noise impacts in new development. Through decision-making noise impact should be considered by taking account of the acoustic environment and in doing so consider:
- Whether or not a significant adverse effect is likely to occur;
 - Whether or not an adverse effect is likely to occur;
 - Whether or not a good standard of amenity can be achieved.

The effect of noise can be considered in three levels:

1. Significant observed adverse effect level: This is the level of noise exposure above which significant adverse effects on health and quality of life occur.

2. Lowest observed adverse effect level: this is the level of noise exposure above which adverse effects on health and quality of life can be detected.
 3. No observed effect level: this is the level of noise exposure below which no effect at all on health or quality of life can be detected.
- 6.4. The above levels do not provide a specific numerical scale to indicate the effect of noise however British Standard BS8233:2014 provides desirable indoor ambient noise levels for daytime hours; these are 35dB(A) for a living room and bedroom and 40dB(A) for a dining room. For traditional external areas such as gardens and patios the upper guideline noise level is 55dB(A).
- 6.5. The current retrospective proposal is a revised version of the previously approved rear enlargement of 10 and 12 Hanbury Road.
- 6.6. The extension backs onto residential properties in Longacre. The relationship between the enlarged building and these residential properties is undoubtedly intimate with the main warehouse building being 8m in height and the extension being within 1.5m of the rear garden boundaries.
- 6.7. The position and scale of the previously proposed enlargement were considered acceptable. Given that the revised extension now has a lower roof line, the prominence of the extension is now slightly reduced, and as previously accepted, the extension does not result in any unacceptable overlooking nor overshadowing of the gardens to the north. The height of the eaves has been retained as approved, 4.3m from ground level. The overall proportions, form, design and siting of the current retrospective development is acceptable.
- 6.8. Given the considerable concerns that have been received from local residents abutting the site to the north, Public Health and Protection Services requested that a confirmatory acoustic report should be produced with the current planning application, to confirm the noise levels generated by the business within the premises. Noise readings were requested to be taken within the rear gardens of the residential properties in Longacre in the presence of a Council officer to establish whether the noise from the premises is as expected and suggested during the original proposal. Sound testing took place in the presence of a council officer on January 18th between the hours of 17.00 and 18.30.
- 6.9. A confirmatory acoustic report was produced and submitted to the Council on 15th of February 2022. This confirmed that the predicted sound reduction qualities of the warehouse building outlined in previous acoustic reports for this site were correct. The noise levels recorded at the external receivers (the rear gardens of residential properties that abut the rear of units 10 and 12 Hanbury Road) during the tests were 32dB. The report indicates that the values obtained during this test are in line with the previous predictions. The Technical Note with the details of the conducted tests and results accompany this report (Appendix 3).
- 6.10. As such the applicant has demonstrated that the construction of the rear enlargement meets the criteria outlined in the original acoustic report, which indicated that in the predicted worst-case scenario the noise levels at the noise sensitive properties will comply with the relevant criteria and indicated as low impact on residents.
- 6.11. The constructed rear enlargement, whilst of a slightly different form, does not result in any excessive or additional noise leakage. It maintains the amenities of the occupiers of neighbouring premises in Longacre. The retrospective proposal is acceptable in relation to all neighbouring properties in terms of noise.

- 6.12. No translucent panels have been included within the roof slope of the rear extension. Also, no external lighting has been installed within the north elevation of the extension. Therefore, there is no additional light emission from within and around the extension.
- 6.13. The remaining works to the site have been carried out as approved under 19/01916/FUL. Overall, the revised scheme maintains an acceptable relationship with all neighbouring properties and is therefore recommended for approval.

7. Community Infrastructure Levy (CIL)

- 7.1. This application is not CIL Liable and there would not be a CIL charge Payable.

RECOMMENDATION

The Application be APPROVED subject to the following conditions:

Condition 1

The enlarged building hereby permitted shall only be used in conjunction with the approved use under 19/01917/FUL and take place between the following hours:

07:00 - 17:30 Mondays - Fridays;

07:30 - 12:30 Saturdays;

The facility shall be closed on Sundays and Bank Holidays.

Reason:

In the interests of protecting the living environment of occupiers of neighbouring dwellings in accordance with DM29 of the Chelmsford Local Plan.

Condition 2

No processing of materials including the use of timber saw machinery shall take place on the site at any time.

Reasons:

In the interests of the amenities of occupiers of nearby residential properties.

Condition 3

There shall be no use of non-electric powered forklift trucks within the site at any time.

Reason:

To ensure that the development does not prejudice the amenity of neighbouring occupiers in accordance with DM29 of the Chelmsford Local Plan.

Condition 4

No vehicles benefitting from Audible Warning Instruments shall be permitted to access the land to the northern and western side of building no. 10-12 Hanbury Road.

Reason:

To ensure that the development plan does not prejudice the amenity of neighbouring occupiers in accordance with DM29 of the Chelmsford Local Plan.

Condition 5

No external lighting shall be installed to the northern and western side of no. 10 - 12 Hanbury Road unless details are prior submitted to and approved in writing by the Local Planning Authority.

Reason:

To ensure that the development plan does not prejudice the amenity of neighbouring occupiers in accordance with DM29 of the Chelmsford Local Plan.

Notes to Applicant

- 1 The applicant is advised that all materials/goods stored outside must be safely secured at all times to eliminate any movement caused by the wind which could create additional noise (banging/tapping/grinding).

Positive and Proactive Statement

The Local Planning Authority has assessed the proposal against all material considerations including planning policies and any comments that may have been received. The planning application has been approved in accordance with the objectives of the National Planning Policy Framework to promote the delivery of sustainable development and to approach decision taking in a positive way.

Background Papers

Case File

Public Health & Protection Services

Comments

Comment Date: Fri 11 Mar 2022

The submitted Acoustic Technical Note has been reviewed and appears satisfactory. The measurement test was conducted with an officer from Public Health and Protection Services present to oversee the operation and confirm requirements. The test was carried out at the request of this Service to check that the predicted sound reduction qualities of the warehouse building outlined in previous acoustic reports for this site were correct. The report indicates that the values obtained during this test are in line with the previously predictions, and I consider that the applicant has demonstrated that the construction of the warehouse meets the criteria outlined in the original acoustic report.

Comment Date: Fri 10 Sep 2021

Please see my comments below:

The updated noise impact assessment has been reviewed but I do not believe that the main issue raised and recommendation made in my previous consultation response have been addressed. The main issue with the report is the assumed level of sound protection the warehouse building provides. As the building is in situ now, I recommend that the attenuation provided by the building is directly assessed by the applicant. This is because, subjectively, the noise breakout from the warehouse building is greater than is suggested in the report. The assessment should take place when actual, representative, operations are taking place within the warehouse and loading bay, and the monitoring carried out at residential properties to assess the sound level readings being obtained at the properties.

The additional assessment would enable the applicant to demonstrate either that the building construction/finish meets the criteria outlined in the acoustic report, or if further investigation is required into any additional works to the building structure to achieve the required levels.

Comment Date: Wed 23 Jun 2021

I have reviewed the letter from applicant's noise consultant but this has not addressed the recommendations in my previous response. The letter focuses on the noise levels generated in the building from manufacturers details or measurements taken at other sites. I do not have a major issue with the predicted levels used. The issue of concern is the attenuation provided by the warehouse/workshop building that backs onto the residential properties. As stated in the previous response there seems to be noise breakout from the warehouse building that is greater than is suggested in the acoustic report. As the premises is now in operation I would suggest that it would be prudent for the acoustic report to cover the actual noise being created by the operation of the premises and, importantly, the acoustic attenuation effect of the current building structure, at the residential properties. This additional assessment would enable the applicant to demonstrate either that this change of building construction/finish meets the criteria outlined in the current acoustic report, or if further investigation is required into any additional works to the building structure to achieve these levels.

Comment Date: Tue 01 Jun 2021

This Service has received a number of noise complaints, since it opened, from residents whose gardens back onto this premises warehouse. These complaints relate to noise from intruder alarms, radio, fork lift truck horn, talking/shouting and the noise from the general operation of the premises. Completed diary sheets from a number of residents have been received and the noise complaint investigation is ongoing. The logsheets returned indicate that residents are being disturbed by these noises on a regular basis throughout the working day and that they are audible to the extent that they are distinguishable, for example conversations in the warehouse can be heard, song words on the radio can be heard. The operation of the premises seems straightforward when visited and there were no significant concerns identified about how it seemed to be operated from a noise perspective. The warehouse did, however, seem echoey/reverberant. An officer visit has also been made to a residential property to assess noise levels as part of the noise nuisance investigation. While, at that time, the activity in the warehouse was low there were sporadic incidents of noise from conversations, moving of material and fork lift truck horns. The initial impression gained from this short initial visit is that the noise levels at the residents' property seemed to be audible and discernible.

While no objective measurements were taken I would recommend that the acoustic report is reviewed by the applicant. There seems to be noise breakout from the warehouse building to a greater degree than is suggested in the applicant's acoustic report. As the premises is now in operation I would suggest that it would be prudent for an acoustic report to cover the actual noise being created by the operation of the premises and the acoustic attenuation effect of the current building structure, at the residential properties. This additional assessment would enable the applicant to demonstrate either that this change of building construction/finish meets the criteria outlined in the current acoustic report, or if further investigation is required into any additional works to the building structure to achieve the levels.

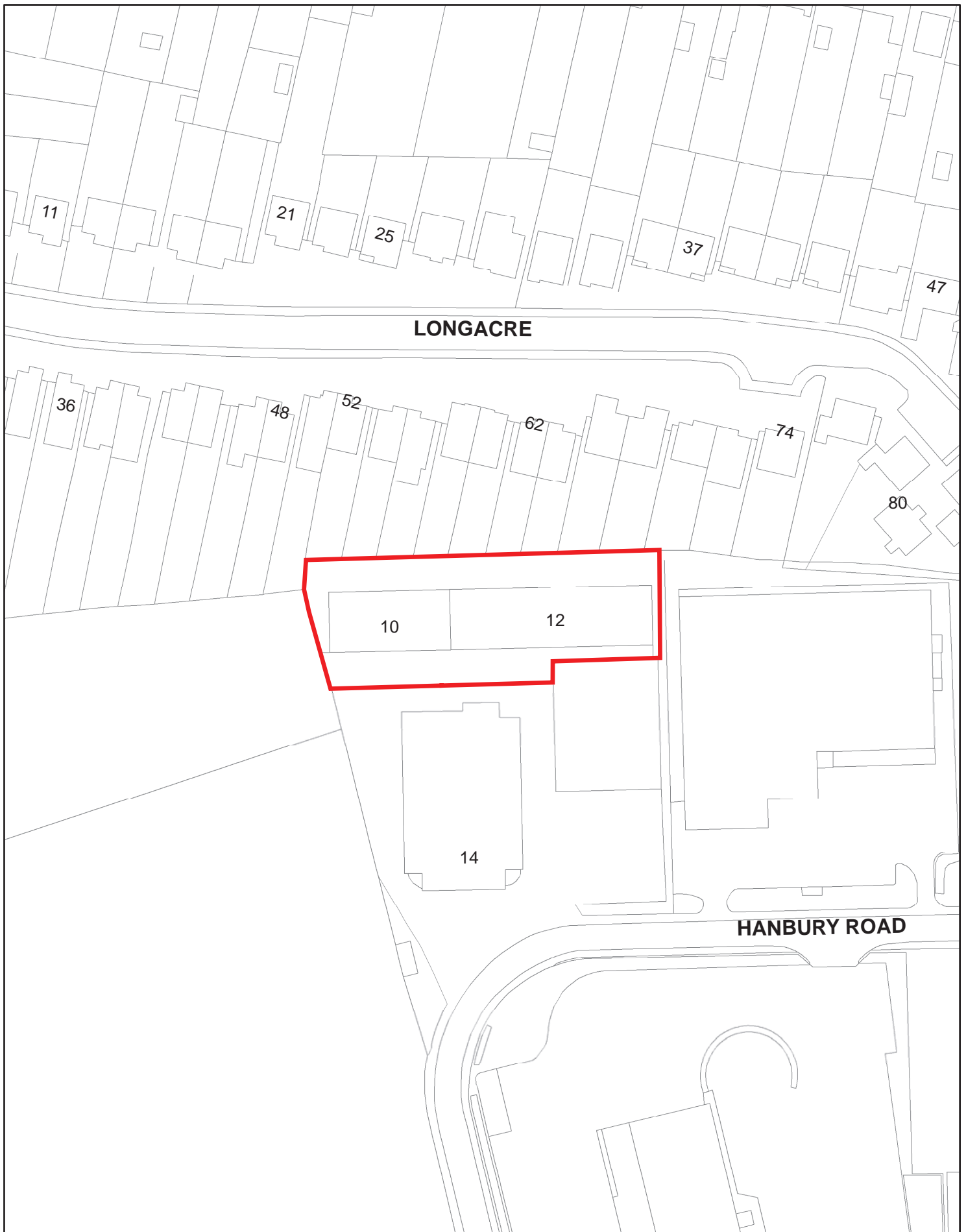
Local Residents

Comments summary

Representations received for 7 residents –

- it is noted that it is unclear if the submitted proposal is retrospective;
- concerns raised about additional noise due to an access gate to maintain the rear alley between the building and the gardens of the neighbours;
- concerns raised that the building has no soundproofing and the roof materials are light reflective, which is not what was approved;
- lights are always on resulting in light pollution even when the premises are closed;
- a part of the building has been sublet to HSS Hire which was not part of the original permission;
- the noise from HSS Hire has not been assessed within the noise report submitted with the original or current applications;
- criticism expressed about the initial noise reports submitted with the current application because the noise was not calculated or measured from within the neighbours rear gardens;
- the lower roof of the constructed rear extension allows for more noise from the building;
- an independent noise report has been requested;
- concerns raised about the approved external finishes and installed gates, which are reflective of the sun and leak noise and light into the neighbours gardens and properties;
- concerns raised that the amenity of the nearby residents has not been safeguarded by the development;
- criticism expressed that the applicant has disregarded the previous planning conditions which were added to safeguard the amenities of the neighbouring properties;
- it is stated that the design of the rear extension, in term of soundproofing, is not fit for purpose as it results in a detrimental impact on residents;

- concerns raised that the approved development breaches planning conditions added to the original planning permission;
- comments submitted and incorrect information pointed out about an amended noise report submitted on 29th of July; it is noted that the report does not include measurements of actual noise taken from the rear gardens of the neighbouring sites.



0 10 20 40 Metres

1:1,000

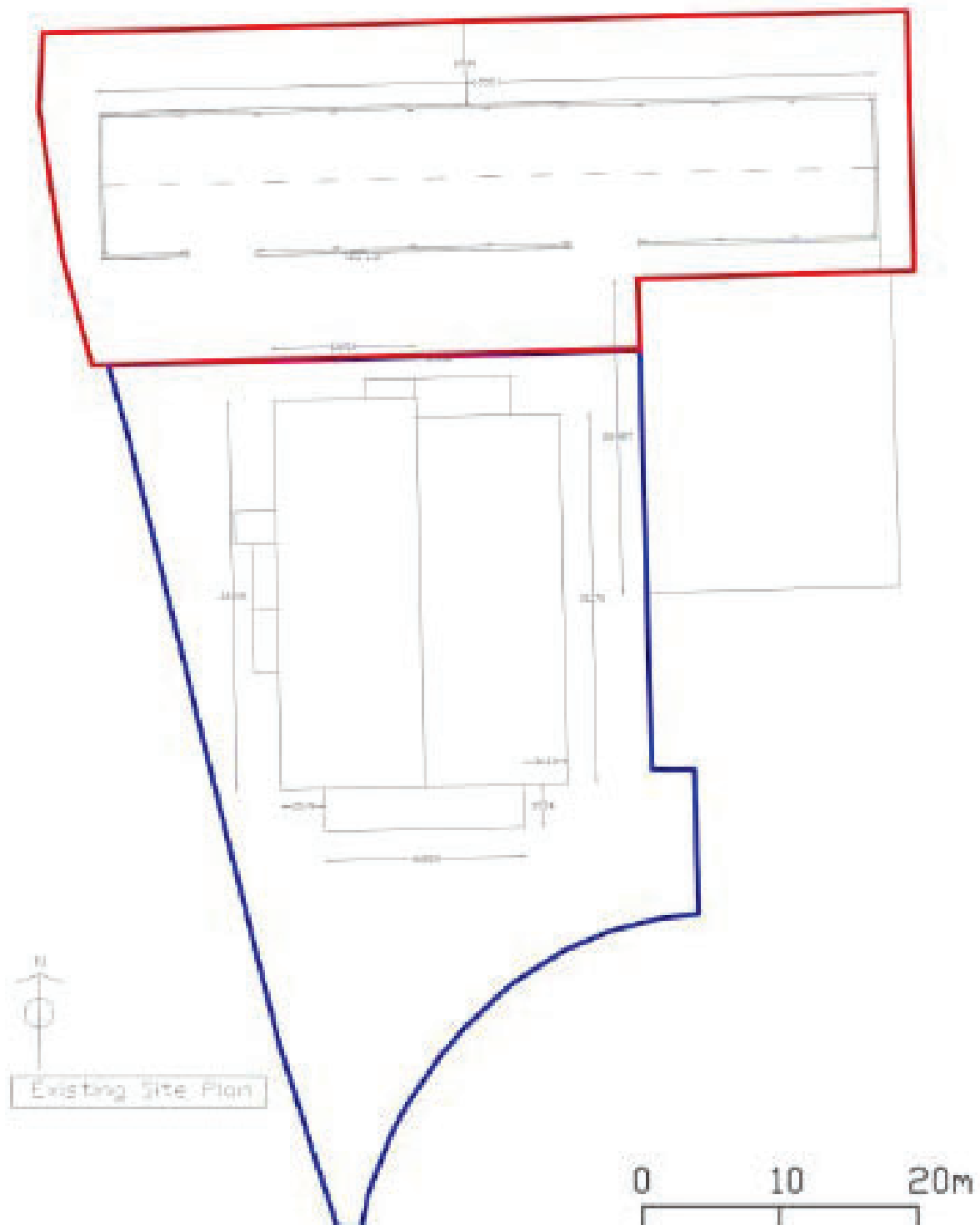


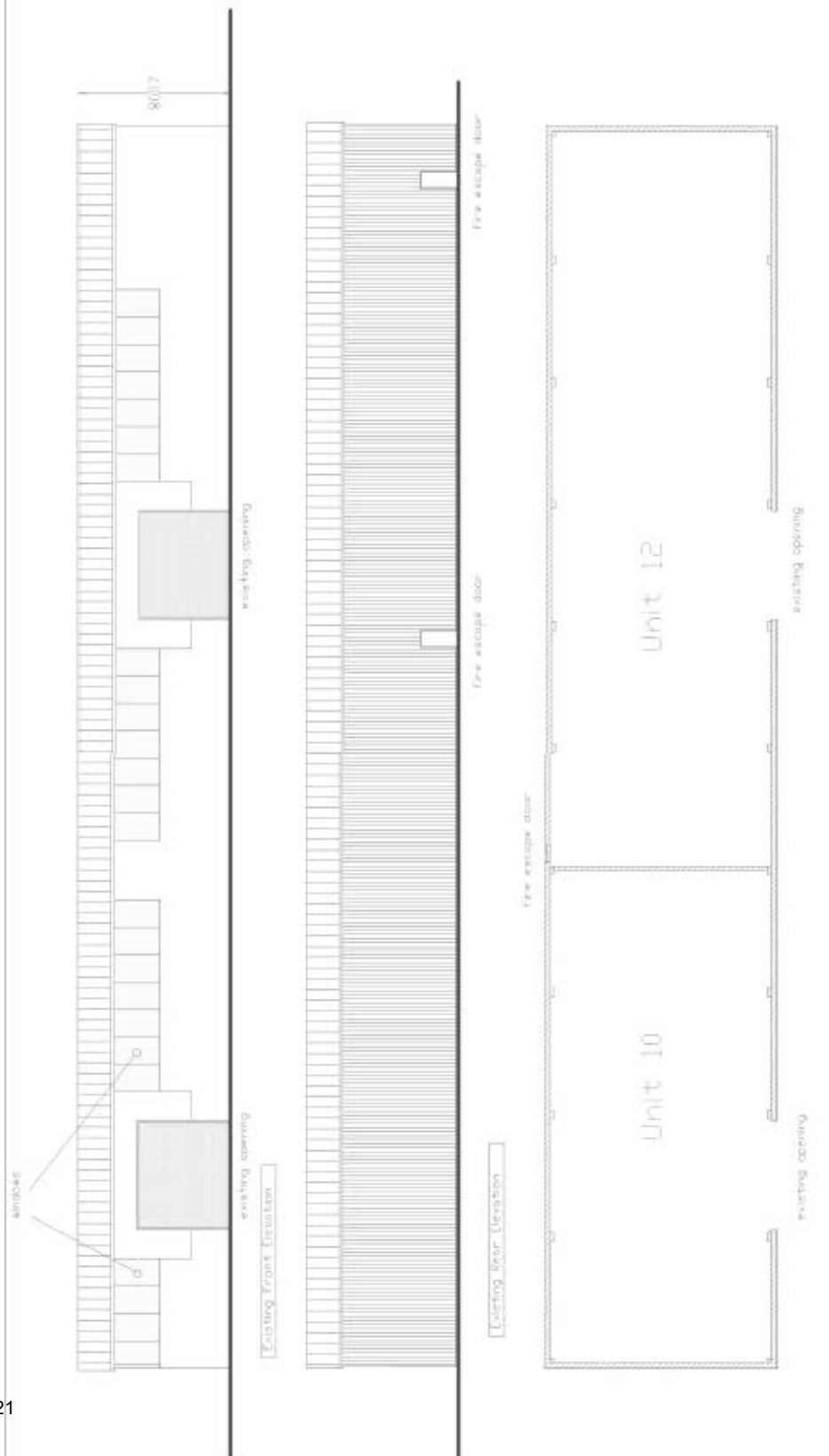
Planning Committee
****19/01916/S73 ****

Planning & Development Management
Directorate for Sustainable Communities

PO Box 7544 Civic Centre
 Duke Street, Chelmsford, CM1 1XP

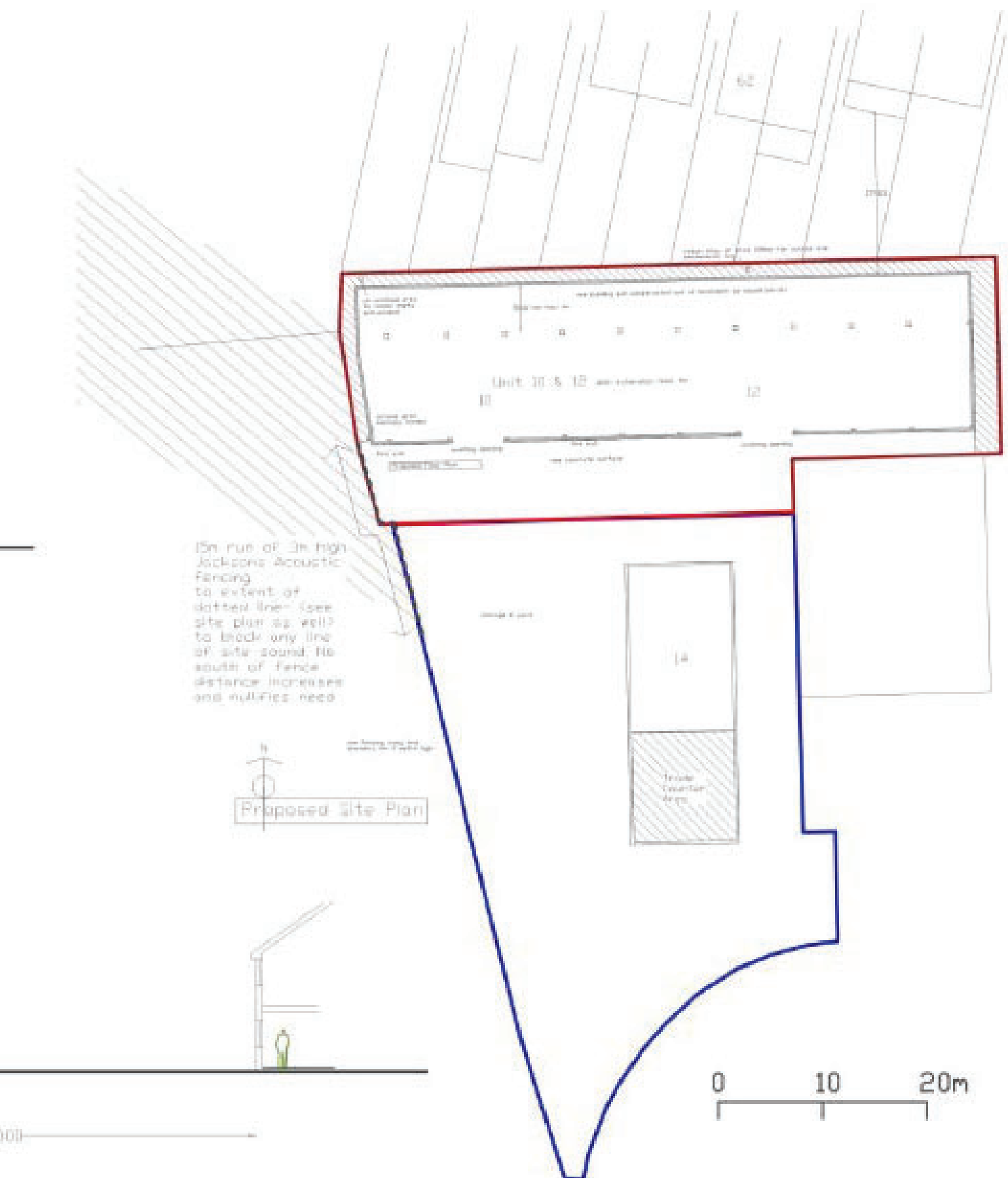
Telephone: 01245 606826



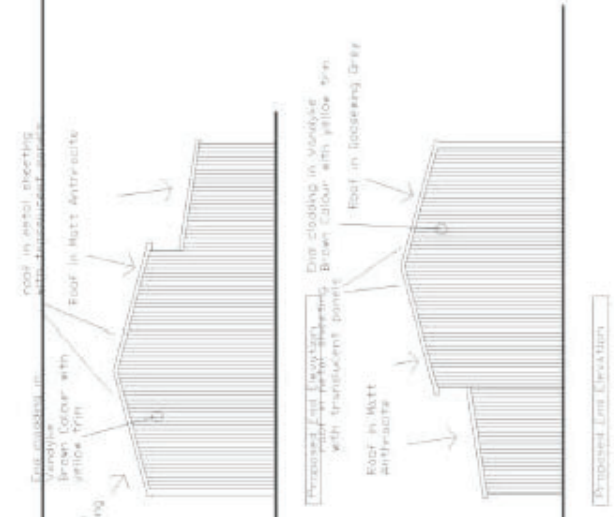
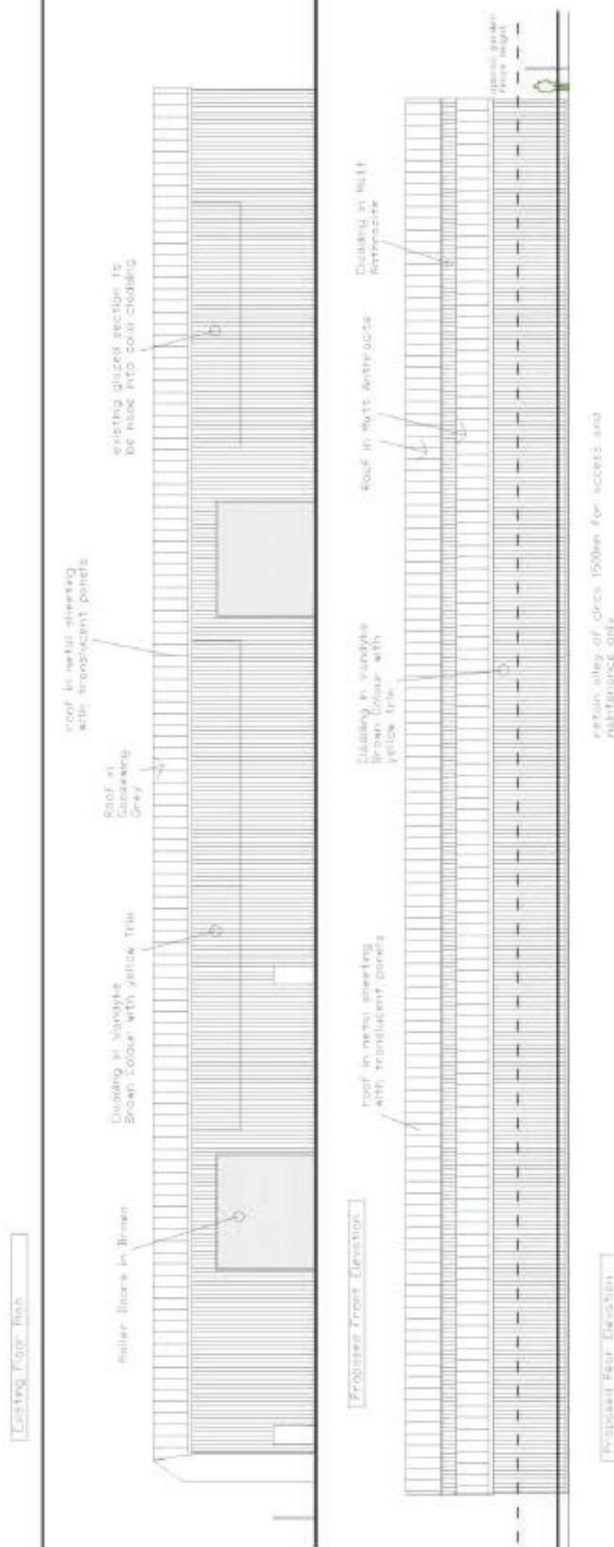


Existing Plans
and Elevation
Units 10 and 12

0 5 10m



Existing Floor Plan

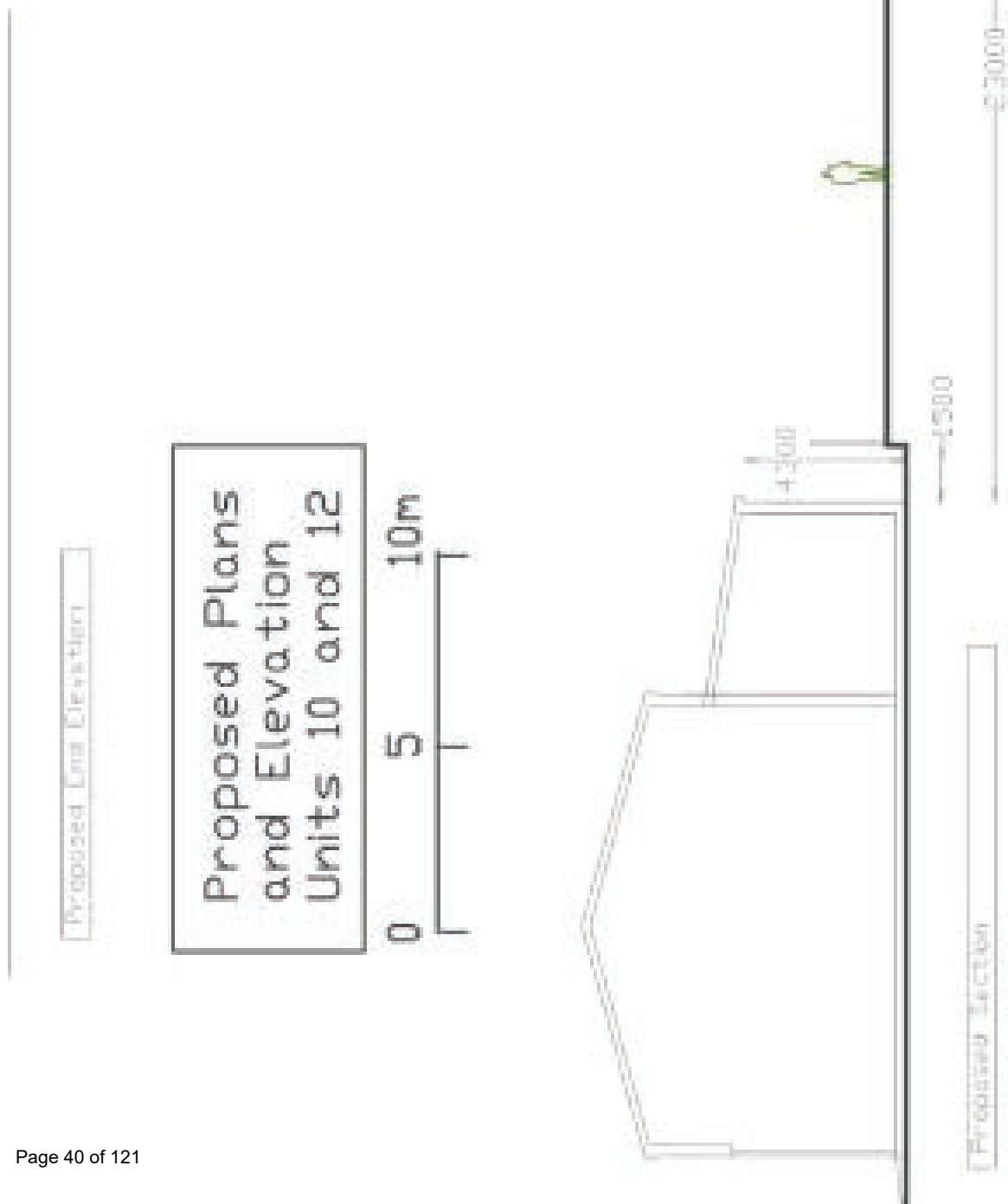


Proposed Rear Elevation

return rails of circa 150mm for access and maintenance only

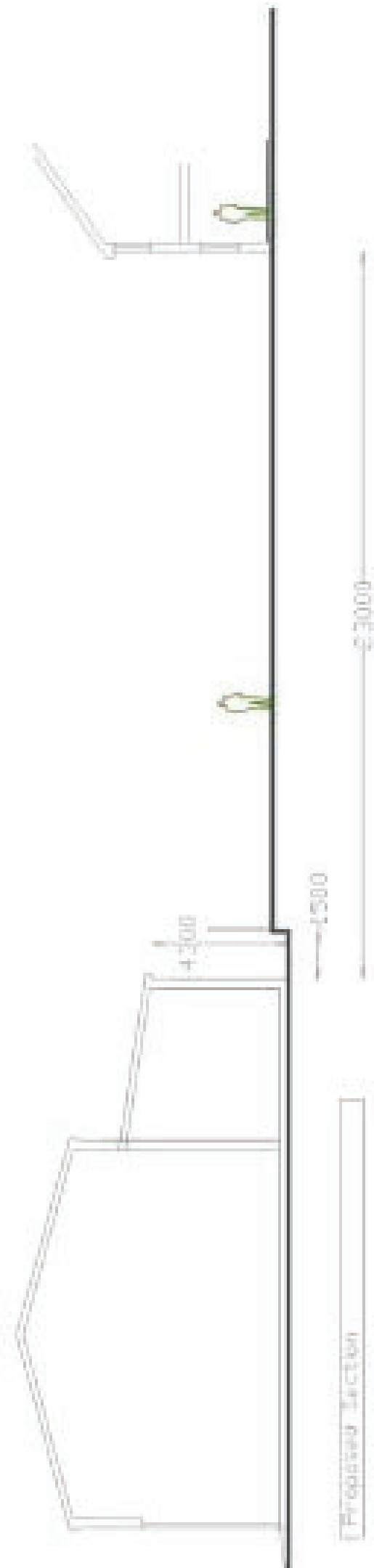
Proposed End Elevation





Jackson Acoustic
Fencing
to extent of
dotted line. See
site plan or wall
to block any line
of sight around the
south of fence
distance increases
and reduces need

Proposed Site Plan





REPORT

NOISE IMPACT ASSESSMENT

CLIENT

PGR TIMBER AND BUILDER MERCHANTS

SITE ADDRESS

UNITS 10-14 HANBURY ROAD, CHELMSFORD, ESSEX CM1 3AE

REFERENCE

HA/AB808/V8

HEALTHY ABODE ACOUSTICS
BUILDING ACOUSTICIANS & ENVIRONMENTAL NOISE CONSULTANTS

Our Ref HA/AB808/V8
Site Address Units 10-14, Hanbury Road, Chelmsford, Essex CM1 3AE
For PGR Timber and Builders Merchants c/o Mr Robert Kemball
Client Address Laindon Training (PGR Timber and Builders Merchants), PGR Timber Courtauld House, Courtauld Road, Basildon, Essex SS13 1RZ
Date of Report 29 July 2021
Author Miss Josie Nixon MSc BA (Hons) MIOA
Noise Model Author Mr Stuart Cumming MSc BSc(Hons) MIOA
Checked by Mr Stuart J G Nixon MSc BSc (Hons) MIOA MCIEH



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This report has been prepared by Healthy Abode Limited t/a HA Acoustics with all reasonable expertise, care and diligence. The survey and report has been undertaken in accordance with accepted acoustic consultancy principles, it takes account of the services and terms and conditions agreed verbally and in writing between HA Acoustics and our client. Any information provided by third parties and referenced is considered to have undergone suitably thorough third-party checks to ensure accuracy. We can accept no liability for errors with a third-party data. This report is confidential to our client and therefore HA Acoustics accepts no responsibility whatsoever to third parties unless formally agreed in writing by HA Acoustics. Any such party relies upon the report at their own risk.

EXECUTIVE SUMMARY

- Mr Robert Kemball on behalf of PGR Timber and Builders Merchants instructed Healthy Abode Ltd t/a as HA Acoustics to undertake a noise impact assessment for the proposed Builder's Merchants at Units 10-14, Hanbury Road, Chelmsford, Essex CM1 3AE.
- This version 8 of the report, has been commissioned to address the EHO's concerns, raised in 2021, and nearby residential concerns.
- HA Acoustics has undertaken an environmental noise survey at the site in order to determine prevailing background noise levels that are representative of the nearest noise sensitive receptors (NSR). A baseline noise survey and assessment has been undertaken in line with the guidance contained in BS 4142:2014, measurements being taken over continuous 15-minute periods.
- The unattended survey was conducted between Wednesday 18th December 2019 – Monday 23rd December 2019, at two fixed monitoring points, located at the rear of the site.
- Due to the nature of the site, the distance between the noise source and 1m from the residential façade varies. The distance from the nearest boundary of the site to 1m from the NSR is approximately 12m. It is understood that the external amenity backs onto the site and there is approximately 2m between the external amenity fence and rear façade of warehouse.
- Properties exist to the north-west of the site (38-44 Longacre), there is potential for a degree of line-of-sight to the external goods yard, to address this a 3m high acoustic fence, to run a minimum 15metre length has been incorporated.
- As the PGR Timber and Merchant Yard is now operating, an attended survey was undertaken on Wednesday 14th July 2021. Manual Measurements were undertaken to determine potential noise emission levels. Calculations have utilised these measurements along with manufacturer's data.
- The operation of the proposed builder's merchants shall be as required, 07:00 – 17:30 hours Monday to Saturday and 07:30 – 12:30 Saturdays, Closed Sundays and Bank Holiday Mondays.
- The typical background noise level has been calculated at 45dB $L_{A90, \text{operational hours}}$.

- It is important to note that during the period of noise monitoring, the site was vacant. The previous business having already vacated the site. This means that the obtained typical background sound level is expected to be lower than that which the nearby residents would be used to, when a business under the existing planning classification is operating.
- Noise calculations of the proposed builder's merchants have been undertaken using all available details and plans provided by the client, manual measurements and obtaining manufacturers' specifications. The resultant sound pressure level has been calculated at the NSR1 at 41 dB(A) and at the NSR2 at 34 dB(A). Noise levels from site operations, within the external amenity gardens are between 45-47dB for NSR1 and < 35dB for NSR2.
- In accordance with BS 4142: 2014 guidance, the noise impact from the operation of the proposed builders merchants ***"is an indication of the specific sound source having a low impact"*** at the NSR.
- If desired further remedial works could include:
 - extending the length of the acoustic barrier to run further north.
 - installation of an acoustic gate.

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Appendices

Appendix A – Site Plan (SP1-SP2)

Appendix B – Time History (TH1-4)

Appendix C – Technical Drawings

Appendix D – 2D Noise Map

- Points Receiver Map (D1)
- Noise Contour Map (D2)

Appendix E – Manufacturer's Data

Appendix F – Acoustic Performance of the Translucent Panels

Appendix G – Sound Reduction Index Composite Levels and Area Size

1. INTRODUCTION

- 1.1. Mr Robert Kemball on behalf of PGR Timber and Builders Merchants instructed Healthy Abode Ltd t/a HA Acoustics to undertake a noise impact assessment at Units 10-14, Hanbury Road, Chelmsford, Essex CM1 3AE for submission as part of documentation to be provided to the Local Authority, Chelmsford City Council.
- 1.2. The original planning application was for the proposal for Units 10-14, Hanbury Road, Chelmsford, to become a Builders Merchants. The builders merchants has been constructed and is currently seeking a variation to application, due to a change in the construction phase of the building design. The site operations could have the potential to affect existing noise sensitive properties nearby.
- 1.3. This version 8 of the acoustic report, has been commissioned to address the EHO's concerns, raised in 2021, and nearby residential concerns.
- 1.4. The purposes of this report are:
 - 1.4.1. To determine prevailing environmental noise levels affecting surrounding properties due to nearby noise sources (e.g. road traffic, commercial plant etc.);
 - 1.4.2. To carry out a theoretical noise breakout through noise modelling the noise emission levels from internal areas, using manufacturers details and manual measurement data;
 - 1.4.3. Based on the above, to present noise emission limits in accordance with the requirements of BS 4142: 2014 +A1: 2019, and
 - 1.4.4. To undertake an assessment to demonstrate compliance with the Local Authority noise requirements.

2. SITE DESCRIPTION

- 2.1. Units 10-14, Hanbury Road, Chelmsford, Essex CM1 3AE (hereafter referred to as 'the site') is a commercial premises located within an industrial estate. A site plan can be found in Appendix A.
- 2.2. The site is situated off Hanbury Road, which runs along the south boundary. The site is within an industrial estate, which is situated to the south and east. The site adjacent to the East is AP Lamp Distributors and Bookers Wholesale. There are a number of commercial and industrial premises on the industrial estate, such as National Tyres, Smurfit Kappa and Power Testing. Located to the west are agricultural fields. Residential premises are located to the north and external amenity gardens border the site.
- 2.3. The site has undergone a change of use from B8 to Sui Generis use of Builders merchants. Architectural Drawings can be seen in Appendix C. Unit 10 and 12 are proposed to be utilised as storage, with unit 14 being used as the main builders merchants and being the client facing section.
- 2.4. The nearest noise sensitive receptor (NSR) located to the proposed timber and builder merchants is noted to be the rear façade of a residential premises located to the rear of the site on Longacre. Due to the nature of the site, the distance between the noise source and 1m from the residential façade varies. The distance from the nearest boundary of the site to 1m from the NSR is approximately 12m. It can be confidently assumed that if the noise impact assessment indicates that the specific sound source has a low impact at this premises then it can be safely assumed it will be met at other properties of equal distance and/or those further away with no line of sight.
- 2.5. Properties exist to the north-west of the site (38-44 Longacre), there is potential for a degree of line-of-sight to the external goods yard. A distance calculation from the dwellings with potential for line of sight to centre of goods yard is approximately 85m, the client has install mitigation in the form of a 3m high acoustic fence.
- 2.6. At the time of installation and collection of the monitoring equipment, the dominant noise sources emanated from road traffic, overhead airplane movements and some commercial and residential activity noise. These noise sources are considered normal to the site location. No significant abnormal noise sources were identifiable. It is considered that the measured noise levels are reasonable given the location of the measurement position.

- 2.7. It should be noted that the site was vacant at time of survey, so the background survey did not include any noise levels from previously existing operations and is therefore considered robust.
- 2.8. It should also be noted that due to Covid-19 pandemic and associated lockdowns, there has been less air flight and industrial noise than is typical for the locality. Therefore, the noise criteria measured during 'normal' (no restrictions) activities in 2019 has been utilised. Subjectively, it may be considered that operations from PGR timber may appear more intrusive due to the quieter background experienced during the lockdowns and a number of nearby businesses being closed or on reduced service.

3. ENVIRONMENTAL NOISE SURVEY METHODOLOGY

3.1 Unattended – Environmental Noise Survey

3.2 An unmanned environmental noise survey was undertaken at two measurement locations at the rear of the site. The survey was undertaken between 11:00 hours on the Wednesday 18th December 2019 and 14:30 hours on Monday 23rd December 2019.

3.3 The sound level meters (SLM) were mounted approximately 1.5 metres above ground level. For position 1 the SLM was positioned on the rear premises boundary. The position is not considered to be ‘free-field’ therefore acoustic corrections of -3dB have been applied to the measurements. For position 2 the SLM was positioned away from reflective surfaces approximately 3.5 metres from the rear façade of the property and other walls/fences. The position is considered to be ‘free-field’ therefore acoustic corrections of -3dB have not been applied to the measurements.

3.4 The positions are considered to be representative of background noise levels at the nearest identified NSR. The monitoring position is identified in Appendix A.

3.5 The equipment used for the noise survey is summarised in Table 3.1.

Equipment	Description	Quantity	Serial Number
Svantek 977	Class 1 automated logging sound level meter	1	69297
ACO Pacific 7052E	Class 1 ½" microphone	1	69364
Svantek 977	Class 1 automated logging sound level meter	1	69716
ACO Pacific 7052E	Class 1 ½" microphone	1	70766
Svantek SV33A	Class 1 Calibrator	1	73297

Table 3.1 Description of Equipment used for Noise Survey

3.6 Ambient, background and maximum noise levels (L_{Aeq} , L_{A10} , L_{A90} and L_{AmaxF} respectively) were measured throughout the noise survey in consecutive 15-minute periods.

3.7 The noise survey and measurements were conducted, wherever possible, in accordance with BS7445-1:2003 ‘Description and measurement of environmental noise. Guide to quantities and procedures’. Measurements were made generally in accordance with ISO 1996-2:2007 ‘Acoustics – Description, measurement and assessment of environmental noise – Part 2: Determination of environmental noise levels’.

3.7 Weather conditions throughout the entire noise survey period were noted to be cold (approximately 0-10° Celsius), generally dry (with periods of light rainfall on Thursday 19th and Friday 20th December 2019), with clear to cloudy skies (approximately 0-80% cloud cover) and a light wind (<5m/s). These weather conditions were checked against and confirmed by the use of the Met Office mobile application available on smart phone technology. These conditions were maintained throughout the whole survey period and are considered reasonable for undertaking environmental noise measurements.

3.8 The noise monitoring equipment was calibrated before and after the noise survey period. No significant drift was recorded. Equipment calibration certificates can be provided upon request.

3.9 It is important to note that during the period of noise monitoring, the site was vacant. The previous business having already vacated the site. This means that the obtained typical background sound level is expected to be lower than that which the nearby residents would be used to, when a business under the existing planning classification is operating.

3.8 Attended / Manual Measurement – Noise Survey of Existing Activities

3.9 An attended environmental noise survey was undertaken on site at Chelmsford PGR Timber and Builders Merchants, now that it is operational. Stop-start measurements were undertaken of the different noise sources and a 1 hour measurement was undertaken within the trade counter and main warehouse. The survey was undertaken between 10:00 - 12:00 hours on the Wednesday 14th July 2021.

3.10 The sound level meters (SLM) located within the internal trade counter was mounted approximately 1.5 metres above ground level within the premise, to the rear of the counter. The sound level meter (SLM) located within warehouse was mounted approximately 1.5 metres above ground level centrally to the warehouse. The stop-start measurements were undertaken via hand-held measurements, where possible all measurements were taken at 1m from the noise source.

3.11 The measurements are considered representative of the typical activity and noise levels undertaken at the site.

3.12 The equipment used for the noise survey is summarised in Table 3.2.

Equipment	Description	Quantity	Serial Number
Svantek 977	Class 1 automated logging sound level meter	1	69701
ACO Pacific 7052E	Class 1 ½" microphone	1	71699
Svantek 977	Class 1 automated logging sound level meter	1	69716
ACO Pacific 7052E	Class 1 ½" microphone	1	70766
Svantek 977	Class 1 automated logging sound level meter	1	46457
ACO Pacific 7052E	Class 1 ½" microphone	1	64237
Larson Davis CAL200	Class 1 Calibrator	1	14432

Table 3.2 Description of Equipment used for Attended Survey

- 3.1. Ambient, background and maximum noise levels (L_{Aeq} , L_{A10} , L_{A90} and L_{AmaxF} respectively) were measured throughout the noise survey in consecutive 15-minute periods for the positioned SLM and also measured with the start-stop measurements.
- 3.2. The noise survey and measurements were conducted, wherever possible, in accordance with BS7445-1:2003 '*Description and measurement of environmental noise. Guide to quantities and procedures*'. Measurements were made generally in accordance with ISO 1996-2:2007 '*Acoustics – Description, measurement and assessment of environmental noise – Part 2: Determination of environmental noise levels*'.
- 3.3. The noise monitoring equipment was calibrated before and after the noise survey period. No significant drift was recorded. Equipment calibration certificates can be provided upon request.
- 3.4. Weather conditions were noted to be warm (approximately 20° Celsius), dry, with cloudy skies (approximately 100% cloud cover) and a light wind (<5m/s). These weather conditions were checked against and confirmed by the use of the Met Office mobile application available on smart phone technology. These conditions were maintained throughout the whole survey period and are considered reasonable for undertaking environmental noise measurements.

4. EXTERNAL NOISE EMISSION CRITERIA

4.1. National Planning Policy Framework

4.2. In March 2012, the National Planning Policy Framework (NPPF) came into force and was revised in February 2019. This document replaces a great many planning guidance documents, which previously informed the planning system in England.

4.3. The NPPF (2019) sets out the Government's economic, environmental and social planning policies for England and these policies articulate the Government's vision of sustainable development.

4.4. The Noise Policy Statement for England (NPSE) published 2010 applies to *'all forms of noise, including environmental noise, neighbour noise and neighbourhood noise'*.

4.5. Paragraph 180 of the NPPF (2019) considers noise, stating:

"Planning policies and decisions should also ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development. In doing so they should:

- a) mitigate and reduce to a minimum potential adverse impacts resulting from noise from new development – and avoid noise giving rise to significant adverse impacts on health and the quality of life;*
- b) identify and protect tranquil areas which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason; and*
- c) limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation."*

4.6. National Planning Policy is guided by the NPPF. With regard to noise, the terms 'significant adverse impact' and 'other adverse impacts' are defined in the explanatory notes of the 'Noise Policy Statement for England' (NPSE). These state that there are two established concepts from toxicology that are currently being applied to noise impacts, for example, by the World Health Organisation. They are:

- 'NOEL – No Observed Effect Level, this is the level below which no effect can be detected. In simple terms, below this level, there is no detectable effect on health and quality of life due to the noise, and

- LOAEL – Lowest Observed Adverse Effect Level. This is the level above which adverse effects on health and quality of life can be detected.

4.7. Extending these concepts for the purpose of this NPSE leads to the concept of SOAEL - significant observed adverse effect level. This is the level above which significant adverse effects on health and quality of life occur'. However, no specific noise limits for LOAEL and SOAEL have been defined. Therefore, guidance from other acoustic standards must be employed to determine suitable levels within the overall principal of the National Planning Policy Framework; such as BS 4142:2014.

4.8. Chelmsford City Council, Local Authority Noise Criteria

4.9. The proposed site lies within the jurisdiction of the Local Authority, Chelmsford City Council. An acoustic report was required to support the original planning application and the following wording was previously provided from the local authority:

"both applications 19/01916/FUL & 19/01917/FUL have received holding objections from Public Health and Protection on the basis of noise, the following comment have been received:

The change of use to a builder's merchant has the potential to cause noise disturbance to the occupiers of nearby residential properties. There is no in depth submitted information on how noise from the proposed use will be controlled. I would suggest that a noise assessment is carried out and submitted for consideration with the application. The assessment should cover all proposed noisy operations to be carried out at the site, both in the open and within the building, to demonstrate that no undue disturbance will be caused.

It is therefore required that a Noise Assessment Report be carried out and submitted in supplement with the application in order for the Council to assess the likely impact of noise on the surrounding amenity.

4.10. Since the original application, the design and location of the main warehouse has altered and a number of complaints have been received from nearby residents. This V8 report is designed to address the EHO's concerns and determine the impact the operations of PGR timber are having upon the residential receptors, now that the site is operating as planned.

4.11. It is understood that the Builders Merchants are operational between 07:00 – 17:30 Monday to Friday and 07:30 – 12:30 Saturdays. The noise criteria will therefore be set in-line with the typical background operational levels. In order to provide a robust assessment the lowest measured typical background from the 2 measurement positions have been taken. In this case the criteria to be met is a maximum rating noise level of 45dB $L_{A,T,r}$ measured at the NSR.

4.12. **BS 4142: 2014 +A1: 2019**

4.13. BS 4142: 2014 +A1: 2019 "Methods for Rating and Assessing Industrial and Commercial Sound" presents a method for assessing the significance and possible adverse impact due to an industrial or commercial noise source, based on a comparison of the source noise levels and the background noise levels, both of which are measured or predicted at a noise sensitive receiver e.g. a residential property.

4.14. The specific noise level due to the source is determined, with a series of corrections for tonality, impulsivity, intermittency or any other unusual characteristic. This can result in a maximum total correction of +21dB being added if the new noise source demonstrates all the above characteristics. The background noise level is then subtracted from the rating level and a comparison made.

4.15. The significance of the new noise source and the likelihood of any adverse impact is determined in accordance with the following advice:

"The significance of sound of an industrial and/or commercial nature depends upon both the margin by which the rating level of the specific sound source exceeds the background sound level and the context in which the sound occurs.

- *A difference of around +10 dB or more is likely to be an indication of a significant adverse impact, depending on the context.*
- *A difference of around +5 dB is likely to be an indication of an adverse impact, depending on the context.*
- *The lower the rating level is relative to the measured background sound level, the less likely it is that the specific sound source will have an adverse impact or a significant adverse impact. Where the rating level does not exceed the background sound level, this is an indication of the specific sound source having a low impact, depending on the context."*

4.16. **BS8233:2014**

4.17. BS 8233:2014 provides references and guideline values for desirable indoor ambient noise levels for dwellings as shown in Table 4.1 below.

Activity	Location	07:00 to 23:00	23:00 to 07:00
Resting	Living room	35 dB $L_{Aeq,16hr}$	—
Dining	Dining room/area	40 dB $L_{Aeq,16hr}$	—
Sleeping (daytime resting)	Bedroom	35 dB $L_{Aeq,16hr}$	30 dB $L_{Aeq,8hr}$

Table 4.1 BS 8233:2014 Desirable Internal Ambient Noise Levels for Dwellings

4.18. The above internal ambient noise levels are therefore considered appropriate within this assessment.

4.19. BS 8233:2014 states that ‘for traditional external areas that are used for amenity space, such as gardens and patios, it is desirable that the external noise level does not exceed an upper guideline value of 55dB L_{Aeq} , which would be acceptable in noisier environments.

4.20. The guidance that external amenity should not exceed 55dB $L_{Aeq,16hr}$ is also supported by World Health Organisation (WHO) guidance.

5. NOISE SURVEY RESULTS

5.1. Unattended Noise Survey

5.2. The ambient and background noise levels at the measurement position as seen in Appendix A are provided below and have been based on an analysis of the monitoring data.

5.3. A summary of the data results is provided in Table 5.1. The time history can be seen in Appendix B (TH1-TH2).

	Ambient Noise Level $L_{Aeq, 15min}$	Typical Background Noise Level $L_{A90, 15min}$
Position 1		
Day (07:00 – 23:00)	49dB*	44dB*
Night (23:00 – 07:00)	49dB*	30dB*
Operating Hours (07:00 – 17:30 Monday – Friday 07:00 – 12:30 Saturday)	50dB*	45dB*
Position 2		
Day (07:00 – 23:00)	51dB	49dB
Night (23:00 – 07:00)	49dB	39dB
Operating Hours (07:00 – 17:30 Monday – Friday 07:30 – 12:30 Saturday)	52dB	49dB

*includes -3dB facade noise correction

Table 5.1 Summary of typical noise measurement data

5.4. These noise levels are considered normal to the site location. No significant abnormal noise sources were identifiable during installation or collection of the equipment. It is considered that the measured noise levels are reasonable given the location of the measurement position.

5.5. Attended Manual Measurement Results

5.6. The measurements results from the attended survey can be seen in Table 5.2 and table 5.3. Table 5.2. provides a summaries of the ambient and maximum noise levels of the internal measurement positions. The time history for the continuous manual measurement from the internal warehouse and shop location, can be seen in Appendix B (TH3-TH4).

Measurement Period	Ambient Noise Level $L_{Aeq, 15min}$	Maximum Noise Level $L_{Amax,F}$
Position 3 – Internal Warehouse		
Wednesday 14 th July 10:30-11:45	57 dB	82 dB
Position 4 – Internal Shop Counter		
Wednesday 14 th July 10:45-12:00	56 dB	85 dB

Table 5.2 Summary of attended continuous noise measurement data

5.7. A summary of the stop-start data results is provided in Table 5.3.

State Date & time	Duration HH:MM:SS	Description	L_{Aeq}	$L_{Amax,F}$	L_{A10}	L_{A90}
14/07/2021 10:36:35	00:01:01	External Yard - Reversing alarm from forklift, music from radio and chatting	50	65	52	45
14/07/2021 10:40:19	00:03:29	External Yard - Spot measurement of fork lift in operation loading @2m	65	78	70	48
14/07/2021 10:43:09	00:00:47	External Yard - Lorry engine idle,	67	73	71	56
14/07/2021 10:43:48	00:00:37	External Yard - Loading lorry @2m. 2nd lorry engine idle	79	99	74	68
14/07/2021 10:52:55	00:07:11	External Yard - Loading lorry @4m. 10:52/3 far away lorry turns on engine and departs. forklift loads close to meter.	64	91	66	46
14/07/2021 10:54:25	00:01:19	External Yard - closing barrier on lorry	71	90	71	45
14/07/2021 10:56:58	00:00:48	Internal to Warehouse - Forklift manoeuvring	69	87	67	57
14/07/2021 11:06:58	00:00:50	External to rear of Warehouse	42	54	45	37
14/07/2021 11:09:05	00:00:31	External to rear of Warehouse	41	61	40	36
14/07/2021 11:10:31	00:00:16	Internal to Warehouse – Radio @3m	58	61	60	57
14/07/2021 11:12:11	00:01:32	Internal to Warehouse – Radio @1m	74	80	77	69
14/07/2021 11:14:03	00:00:19	Internal to Warehouse - Forklift manoeuvring	72	87	70	54
14/07/2021 11:27:32	00:00:20	External Yard - Banging of corrugated steel against storage due to light breeze	60	73	63	42
14/07/2021 11:28:34	00:00:10	Internal to Storage area (upstairs)	55	67	59	43
14/07/2021 11:28:54	00:00:18	External Yard – Background	57	69	61	42

14/07/2021 11:33:36	00:01:19	Internal to Warehouse - Forklift manoeuvring	66	83	70	56
14/07/2021 11:35:06	00:01:29	Internal to Warehouse - Forklift manoeuvring	68	84	73	57
14/07/2021 11:36:27	00:01:20	Internal to Warehouse - 2x Forklift manoeuvring	67	79	72	56
14/07/2021 11:41:34	00:03:29	Internal to Warehouse - Forklift manoeuvring lifting and relocating insulation materials.	68	79	73	52
14/07/2021 11:42:53	00:00:17	Internal to Warehouse – Combi-lift manoeuvring	67	83	67	52
14/07/2021 11:43:20	00:00:08	Internal to Warehouse - Forklift Horn	76	88	79	47
14/07/2021 11:49:32	00:00:22	External Yard – Background	55	64	58	50
14/07/2021 11:52:38	00:02:01	External to Front – Background	54	68	57	45

Table 5.3 Summary of start-stop attended measurement data

6. NOISE IMPACT ASSESSMENT

6.1. Background & Context

- 6.2. The site operates as a timber and builder merchants. The operating hours are 07:00 – 17:30 Monday – Friday and 07:00 – 12:30 Saturday's.
- 6.3. The construction of the premises has utilised the existing structure for units 10-12 where possible, as shown in appendix C. The construction is of a 400mm masonry to a height of 3.6m and clad in steel sheet profile material. The steel sheet then continues above to a maximum height of 8m. Where glass windows were previously on the existing façade these have been bricked over. The rear roof has been constructed as per the picture in Appendix C to include a double roof separated by approximate 600mm wall section.
- 6.4. Unit 14 has been reduced in size, to approximately 50%. Where possible the existing brick structure has been utilised and clad in steel. The glass windows for this unit will only be found on the front façade and will be a 22mm thick glass.
- 6.5. The noise sources for Unit 14 include low level music, typical office noise emissions and conversation between customers and members of staff. A storage area for soft light materials, insulation wool, office supplies is located at first floor height.
- 6.6. The noise sources internal to unit 10-12 include a radio and the electric forklifts, including the combi-lift maneuvering as they collect / store materials. The noise sources to the external yard area from the site, include lorries arriving and departing. The electric forklifts maneuvering and loading/unloading goods and conversation between staff members.
- 6.7. The impact must be considered within the context of the site and the surrounding acoustic environment. The following must, therefore, also be taken into consideration when determining the potential impact that may be experienced:
- 6.7.1. The assessment is undertaken at the most affected existing residential windows. The impact on all other nearby residential windows will be lower due to screening and distance attenuation.

6.7.2. The site is located within an industrial estate/area, with other comparable uses with similar plant/operations located within the vicinity.

6.7.3. It should be noted that the above assessment is based on the operations operating simultaneously and at maximum duty. Given that the plant will not operate simultaneously at maximum capacity all of the time, the above assessment is considered to be representative of the worst case.

6.8. Noise Modelling

6.9. Noise modelling has been undertaken to assess the noise impact from the onsite operations at the surrounding receptors.

6.10. The noise model can be found in Appendix D and show the layout of the predicted sound transmission from the onsite operations.

6.11. The noise model takes into account local topography and screening provision of existing features (e.g. the 3m acoustic barrier built to the west boundary). The height of adjacent buildings have been modelled. The nearby residential buildings are generally of low level, typically 1-2 storeys. Therefore, noise modelling emission levels are considered representative for each storey.

6.12. The noise models have also taken into account ground attenuation, air absorption and screening from any other buildings that provide shielding/reflections to receptors in line with ISO 9613-1/2.

6.13. Based on the attended results levels (see table 5.3) the predicted noise emissions from the site have been determined by the following, all occurring simultaneously:

6.13.1. The sound reduction index for individual façade elements have been obtained by manufacturer data or where not available, calculated according to BS EN ISO 12354-1 using Insul calculation software.

6.13.2. Using the internal noise levels obtained on site of 57dB(A), the breakout through each façade element has been calculated according to BS EN ISO 12354-3. The sound power level of each façade element has been used as a façade emitting area source in the SoundPlan model.

6.13.3. The provided datasheets for the translucent panels can be found in appendix F and the calculated sound reduction index and area of each element used in the model can be found in appendix G.

6.13.4. The level of operation within the warehouse is taken from the SLM placed internally during the site survey, position 3.

6.13.5. Unit 10-12 (the warehouse) has been modelled with the two doors (to front façade) open.

6.13.6. The lorry has been modelled as a moving point source and is based on 2 lorries arriving per hour at a sound emission level of 79.1 dB Lw, travelling at a speed of up to 10km/h.

6.13.7. A forklift has been modelled as a point source, for loading and unloading the lorries at a sound emission level of 75dB Lw.

6.13.8. A forklift has also been modelled as a moving point source within the yard. This is based on 1 forklift movement per minute and a sound emission level of 79dB Lw at a speed of up to 10km/h.

6.14. The above has been modelled to illustrate the noise level contours over distance and topography to determine the effects to the NSR's.

6.15. The noise contour map shows the effect of noise breaking out from operations without taking into account or modelling noise from any other nearby sources, such as road traffic, other industrial units, bird song, educational and residential activity, which creates the background source. The noise contour map is set at a height of 1.5m. The background level on the map (Appendix D2), has been set to the typical background level measured at 45 dB(A).

6.16. It should also be noted that the worst-case scenario has been modelled, of all operations occurring at the same time.

6.17. **Noise Impact Assessment**

6.18. With no other noise sources, the model calculates the noise levels from the site operations to be:

- 6.18.1. At NSR1: **41 dB $L_{Aeq, operational\ hours}$** at ground and first floor height. This is **4dB lower than the than the noise criteria (45dB $L_{Aeq,T}$)**,
- 6.18.2. At NSR2: **33 dB $L_{Aeq, operational\ hours}$** at ground floor and **34 dB $L_{Aeq, operational\ hours}$** at first floor height. This is **11-12dB lower than the than the noise criteria (45dB $L_{Aeq,T}$)**, and
- 6.18.3. to be between **33-41 dB $L_{Aeq, operational\ hours}$** at ground/first floor height for the other NSR's. This is **4-7dB lower than the than the noise criteria (45dB $L_{Aeq,T}$)**.
- 6.18.3.1. Appendix D1 provides the receiver map, which identifies the calculated noise level from site operations at the receiver. Levels can be seen per property.
- 6.19. A 'penalty' addition of +3dB is to be added to the Builders Merchants for intermittency due to the nature of the different operations. Penalty additions have not been applied for impulsiveness, tonality or any other unusual characteristics as Builders Merchants generally do not generate such features and none were noticed during the site survey. Including the penalty for intermittency this would increase the levels at the NSR facades by +3dB to 44dB $L_{Aeq,T}$ at NSR1 and 37dB $L_{Aeq,T}$ at NSR2. The noise criteria is therefore still met.
- 6.20. Therefore, considering the NPPF (2012, as amended 2018) and NPSE (2010) guidance, the rating noise level calculated for the site operation system at the NSR facades is **"No Observed Effect Level (NOEL)"**. The lower the noise level is relative to the measured background level, the less likely it is that the specific sound source will have an adverse impact.
- 6.21. Considering, British Standard 8233:2014 '*Sound insulation and noise reduction for buildings – Code of Practice*' give recommendations for acceptable internal noise levels in residential properties. Assuming worst case conditions, of the closest window being for a bedroom, BS8233:2014 recommends 35 dB(A) as being acceptable internal resting/sleeping conditions during the daytime. According to BS8233:2014, the façade of a residential dwelling; with a window partially open for ventilation offers 15 dB attenuation. Therefore, taking into account this reduction for a partially open window the internal noise level with the site in operation would be 29 dB (A) at NSR1 and 22 dB (A) at NSR2; these are lower than the acceptable internal noise level as seen under BS8233: 2014; and significantly lower than the background.

6.22. Levels within the external amenity vary between the residential receptors on Longacre. The levels from site operations are calculated to be between 35-47dB. At NSR1 they are predicted to be between 45-47dB and at NSR2 to be 35dB. The levels within the external garden at NSR1 and adjacent properties are in line with the typical background, or 1-2dB above. As seen from the noise contour map (Appendix D2), the majority of the garden (with the exception of the closest few meters to site) is between 44-45dB's, therefore meeting the noise criteria.

6.22.1. It should be noted that the model does not take into account the existing fence for the external amenities, which may provide some screening to the gardens.

6.23. Including the penalty of +3dB for intermittency to the external amenity would increase the levels to be between 48-51dB at NSR1 and 38dB at NSR2.

6.24. BS 8233:2014 states that *'for traditional external areas that are used for amenity space, such as gardens and patios, it is desirable that the external noise level does not exceed 50dB $L_{Aeq,T}$ with an upper guideline value of 55dB $L_{Aeq,T}$ which would be acceptable in noisier environments'*. The modelled receiver level +3dB for the intermittent penalty is within the BS 8233: 2014 upper guideline criteria and predominantly within the desirable criteria level.

6.25. Therefore, considering the NPPF (2012, as amended 2018) and NPSE (2010) guidance, the rating noise level calculated for the site operation system is a **"Low Observed Adverse Effect Level (LOAEL)"**. The lower the noise level is relative to the measured background level, the less likely it is that the specific sound source will have an adverse impact.

6.26. Recommendations

6.27. Further acoustic calculations and noise modelling of the site have been undertaken following manual measurements of onsite activities. The noise criteria is met and so the following are made as recommendations in line with good practice:

6.27.1. Fill in any gabs within the building façade. Seal the holes around pipes going through the warehouse façade, especially to the rear and seal between the roof and external facades to help mitigate any sound escaping.

6.27.2. Border over the gate so that it forms an acoustic barrier to help mitigate noise breaking out of the yard towards the houses.

- 6.27.3. Ensure all materials/goods are safely secured to eliminate any movement caused by the wind which could create noise (banging/tapping/grinding).

7. UNCERTAINTY

- 7.1. The levels of uncertainty in the data and calculations are considered to be low given the robust exercise undertaken in noise monitoring and the confidence in the statistical analysis.
- 7.2. All measurements taken on-site by instrumentation are subject to a margin of uncertainty. This is relatively small, with a sound level meter manufacturer's margin of uncertainty at $\pm 1.1\text{dB}$. It is due to the tolerances associated with the Class 1 sound level meter and calibrator equipment used to measure background.
- 7.3. The meter and calibrator used have a traceable laboratory calibration and were field calibrated before and after the measurements.
- 7.4. Manufacturers' data for the plant is likely to be robust. Detailed calculations and resultant noise levels at the residential location are considered to be confidently predicted.
- 7.5. Uncertainties associated with the noise model using SoundPLAN Essential 5.0 are as follows;
- 7.5.1. Topographical map data, used to establish the digital ground model, was acquired from the Earth Engine Data Catalogue from Google.
- 7.5.2. Building heights and building floor heights have been estimated using best judgement from attending the site. Receptor positions at buildings have been estimated for ground floor and first floor levels to be best representative of noise sensitive receiver positions.
- 7.6. Uncertainty in the calculated impact has been reduced by the use of a well-established calculation method.

8. CONCLUSION

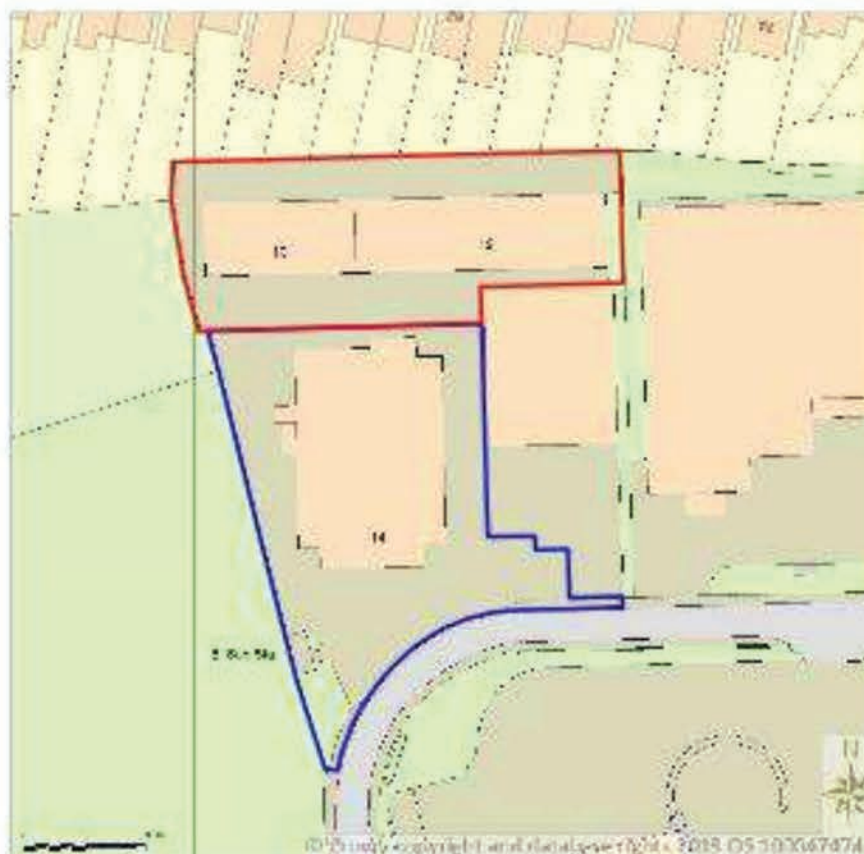
- 8.1. A noise assessment has been undertaken at PGR Timber and Builders Merchants, Units 10 – 14, Hanbury Road, Chelmsford, Essex CM1 3AE. The noise survey was undertaken at two fixed monitoring points, representative of the nearest noise sensitive receptor.
- 8.2. Following on-site measurement of pre-existing noise levels, calculations have been made of the noise rating level of the proposed plant at the NSR. From this assessment, together with information from the plant manufacturer, the potential noise impact has been determined.
- 8.3. Noise levels from the site operation have been modelled and are calculated to be **44dB L_{Ar,Tr} at NSR1** and **34dB L_{Ar,Tr} at NSR2**.
- 8.4. BS 4142: 2014 +A1: 2019 assessment methodology shows that the rating noise level from the site in operation is modelled to be **1dB(A) below** the typical background of **45dB L_{A90,T}** at NSR1 and **11 dB(A) below** the typical background of **45dB L_{A90,T}** at NSR2. In accordance with BS 4142:2014, noise levels from the plant ***“is an indication of the specific sound source having a low impact”***.
- 8.5. There is the potential for a Low Observed Adverse Effect Level to occur within the external amenity, when including the penalty for intermittent operations as the noise criteria of 45dB is exceeded, however, levels remain within BS8233: 2014 and World Health Organisation desirable external amenity criteria.
- 8.6. Considering the results of the noise survey, the illustrative layouts and the calculations, the predicted resultant noise levels from the proposed plant are predicted to meet appropriate and reasonable guidance and the relevant noise criteria. Therefore, an adequate level of protection against noise for occupants of the nearest noise sensitive receptor is afforded; including when factoring in potential uncertainty.



- Key:**
- Noise Monitoring Position
 - Nearest Noise Sensitive Receiver
 - Site Boundary



**SITE LOCATION PLAN
AREA 2 HA
SCALE 1:1250 on A4
CENTRE COORDINATES: 569041, 205823**



Supplied by Streetwise Maps Ltd
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Licence No: 100947474
10/06/2019 12:03

Key:

Site Boundary Unit 10-12

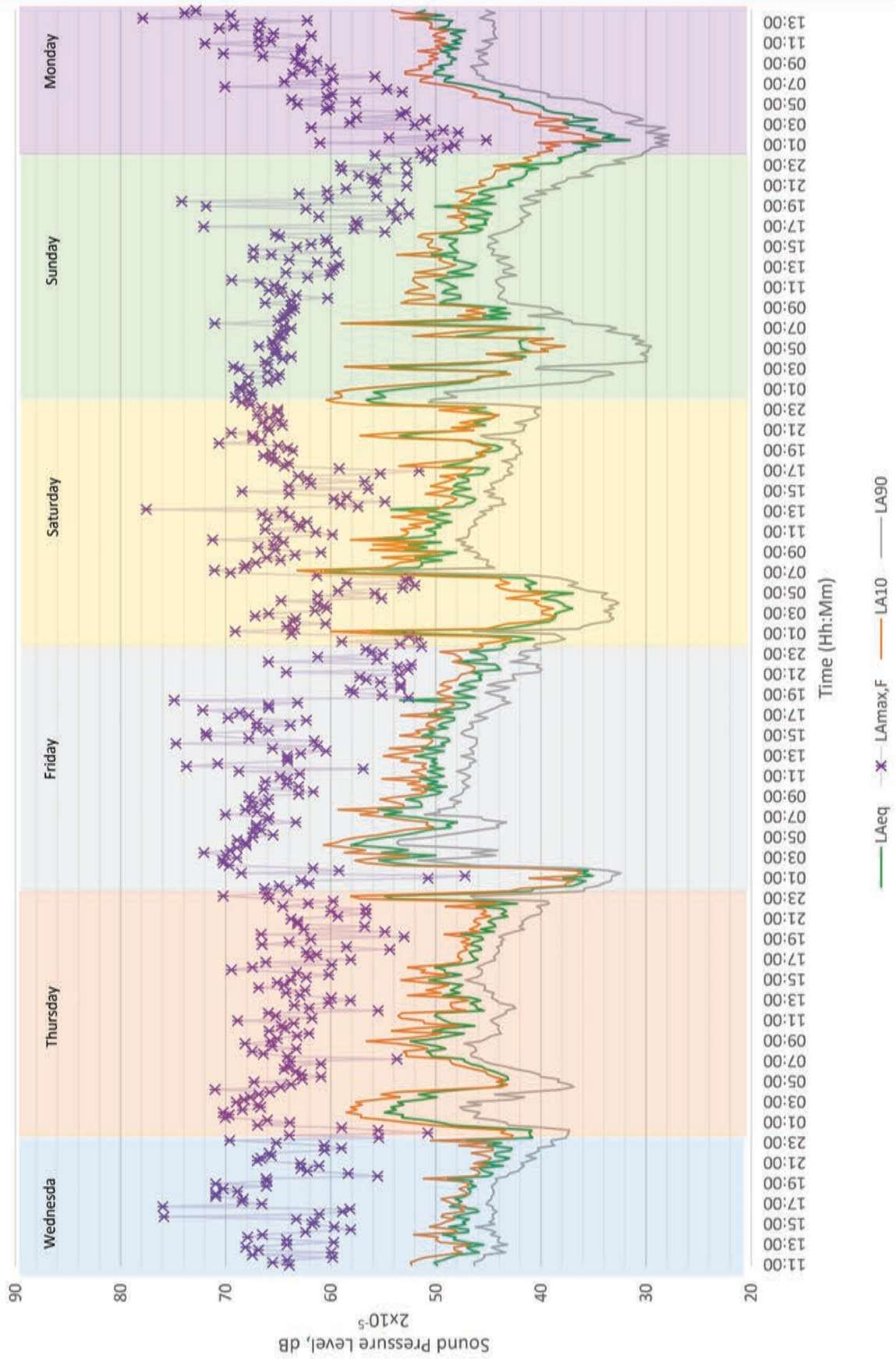


Site Boundary Unit 14



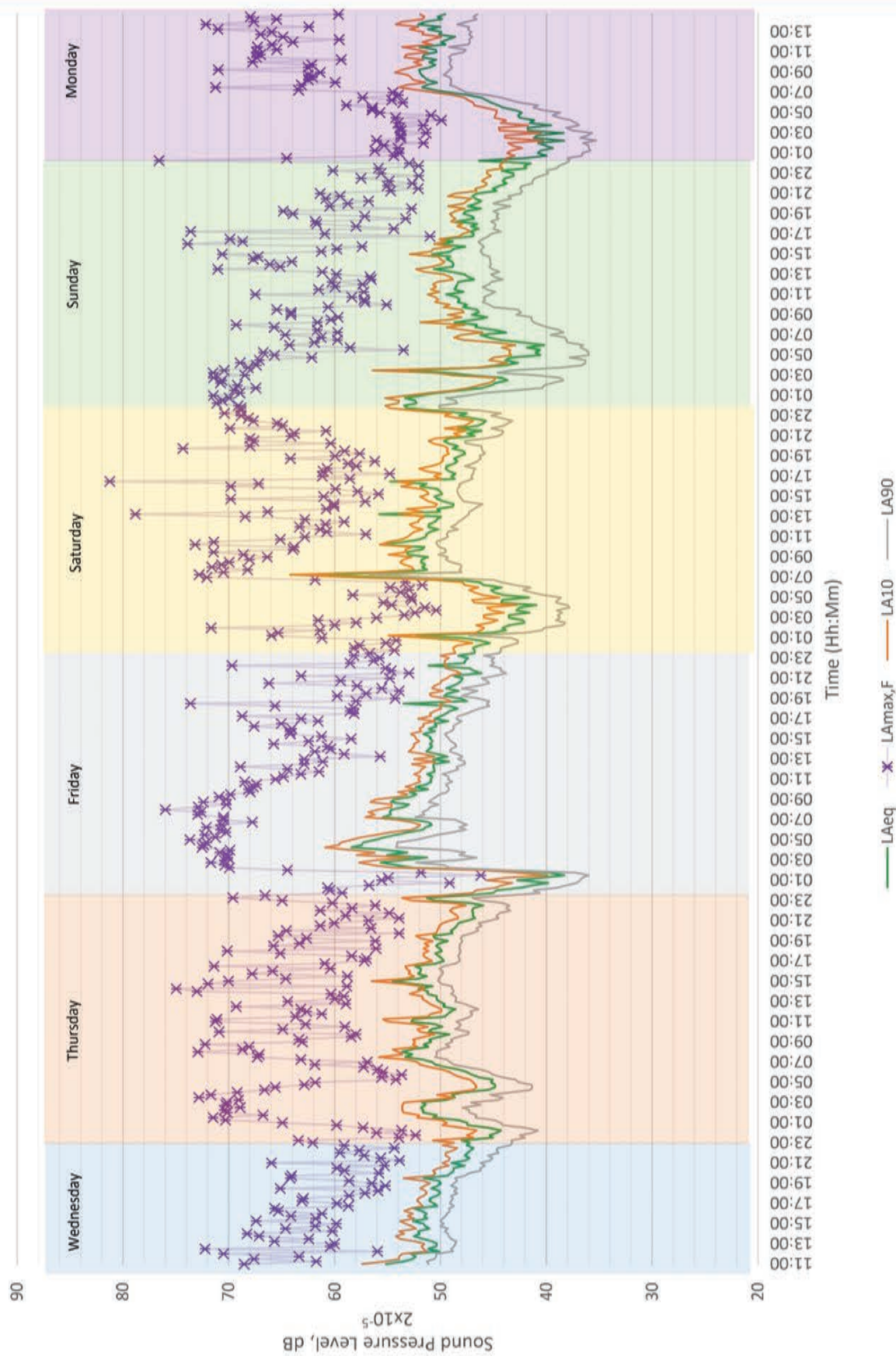
Appendix A - Time History 1 (TH1)

Units 10-14, Hanbury Road, Chelmsford
Wednesday 18 December 2019 - Monday 23 December 2019
Position 1



Appendix B - Time History 2

Units 10-14, Hanbury Road, Chelmsford
Wednesday 18 December 2019 - Monday 23 December 2019
Position 2

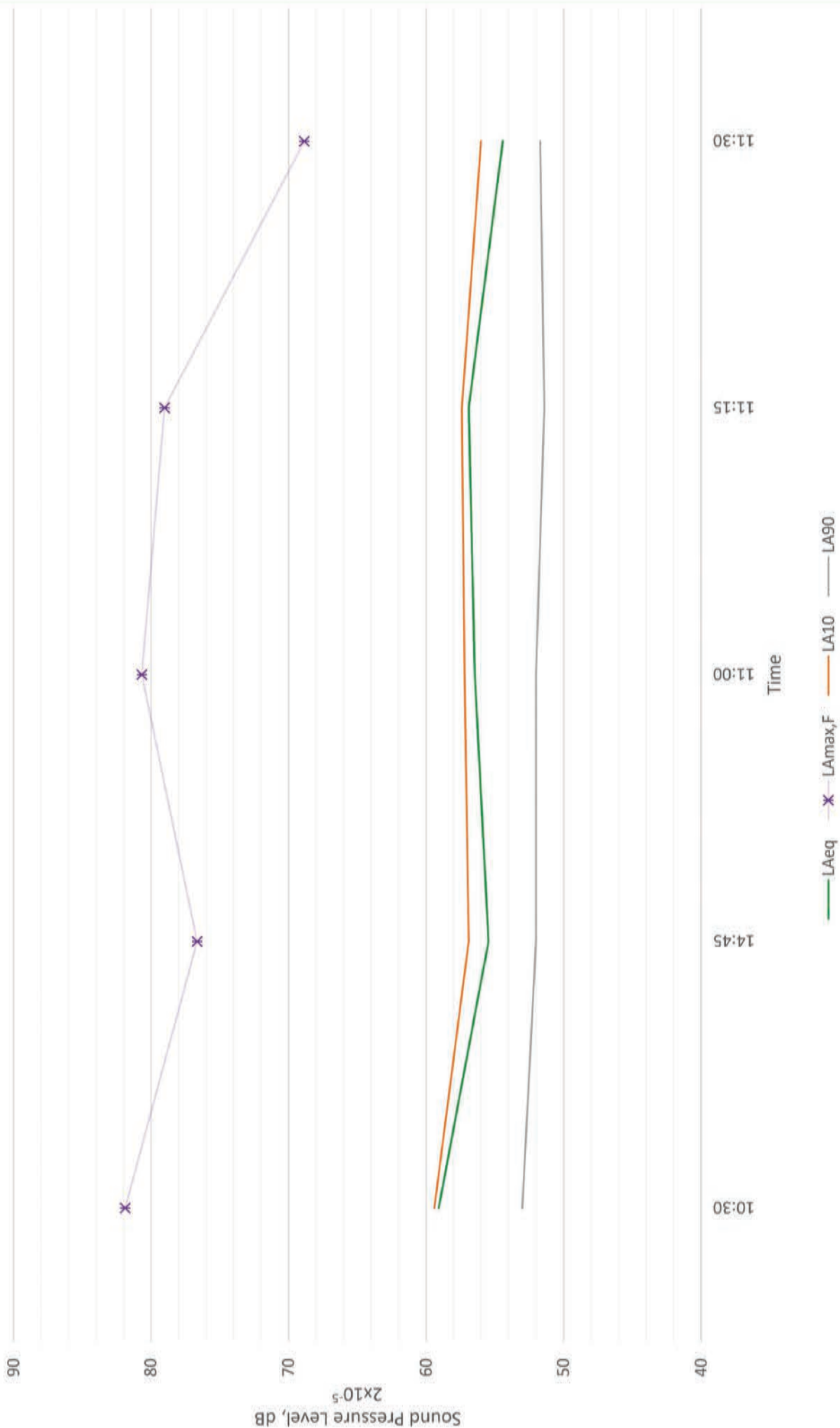


Appendix B - Time History 3 (TH3)

PGR Timber and Builders Merchants, Hambury Road, Chelmsford

Wednesday 14 July 2021

Position 3 - Internal Warehouse

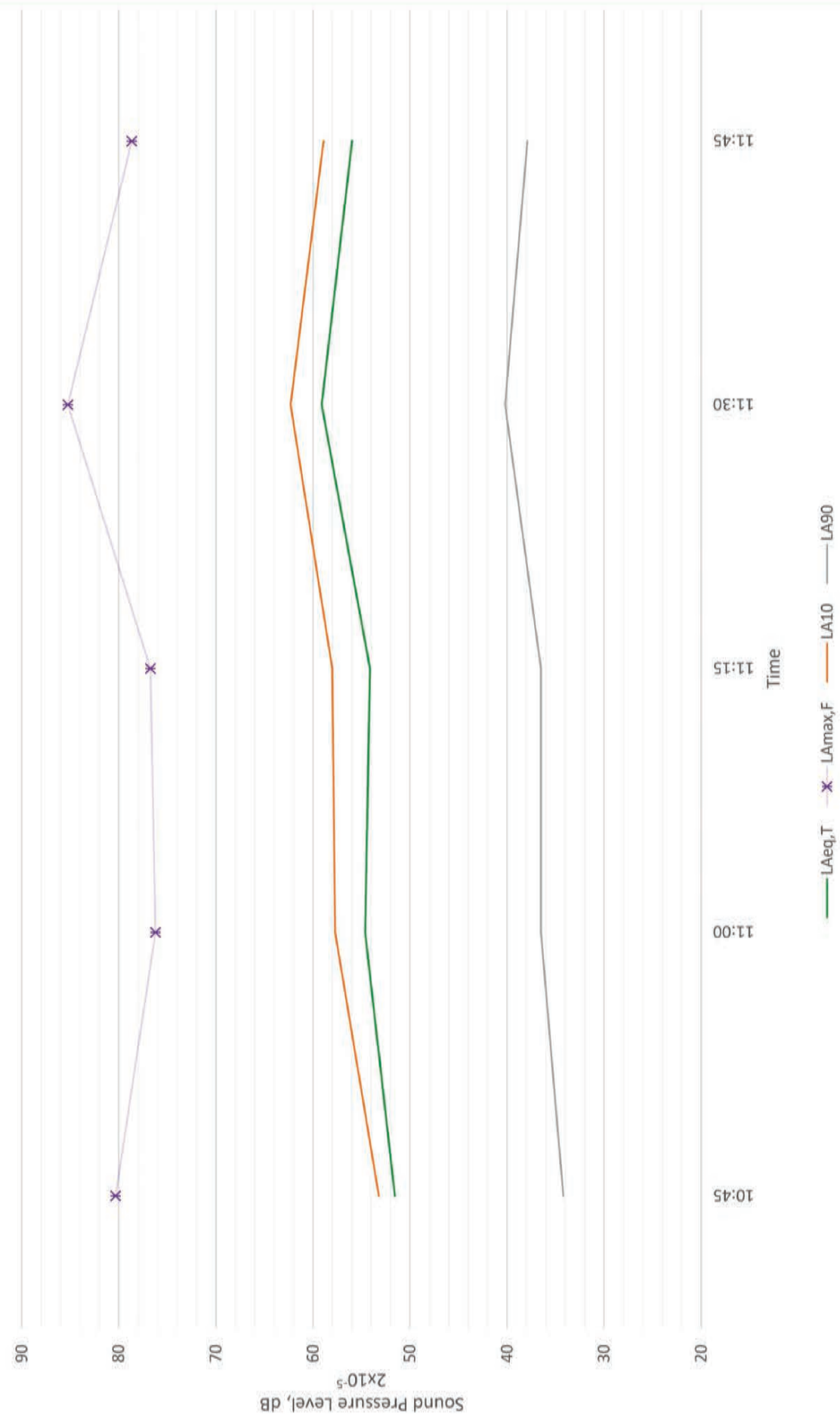


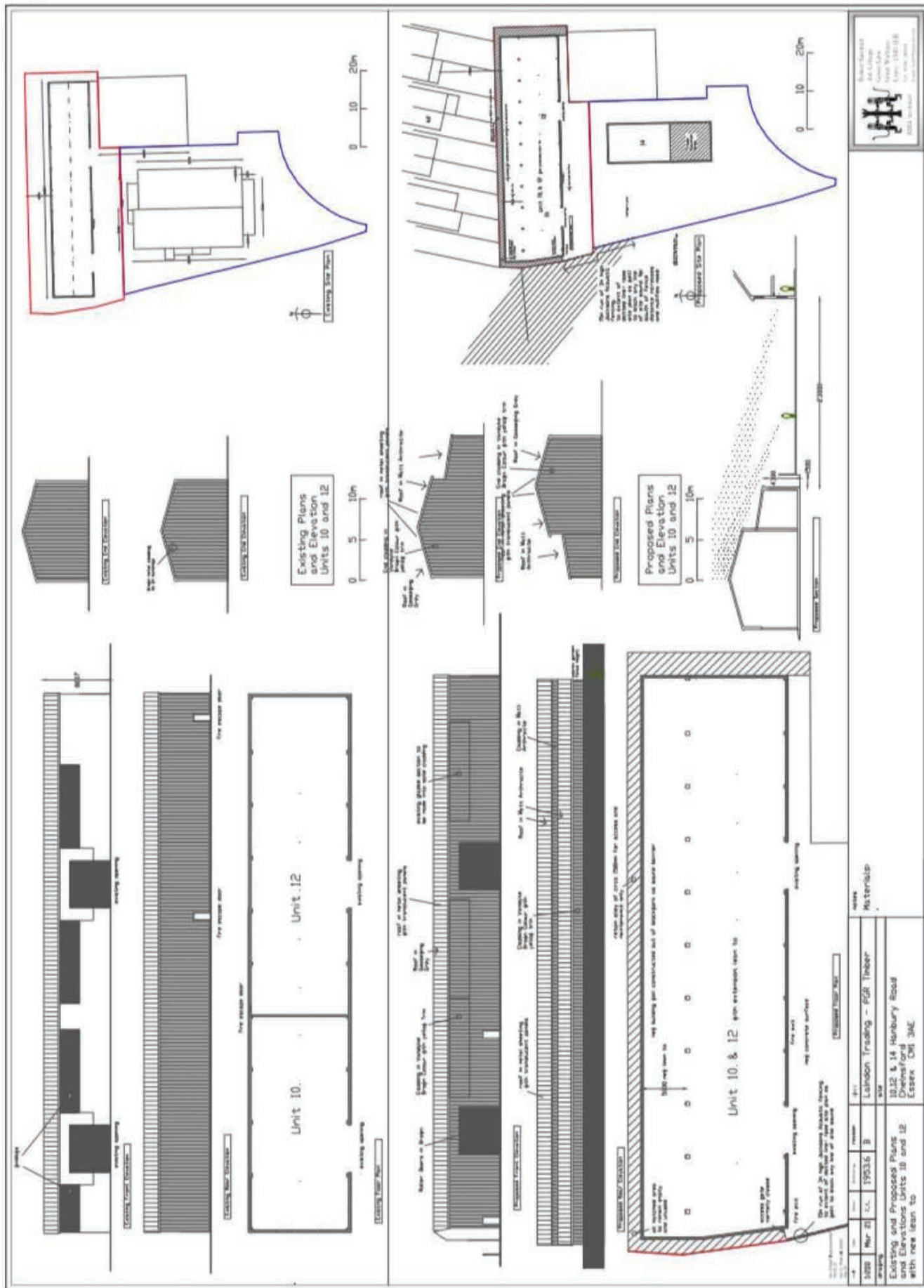
Appendix B - Time History (TH4)

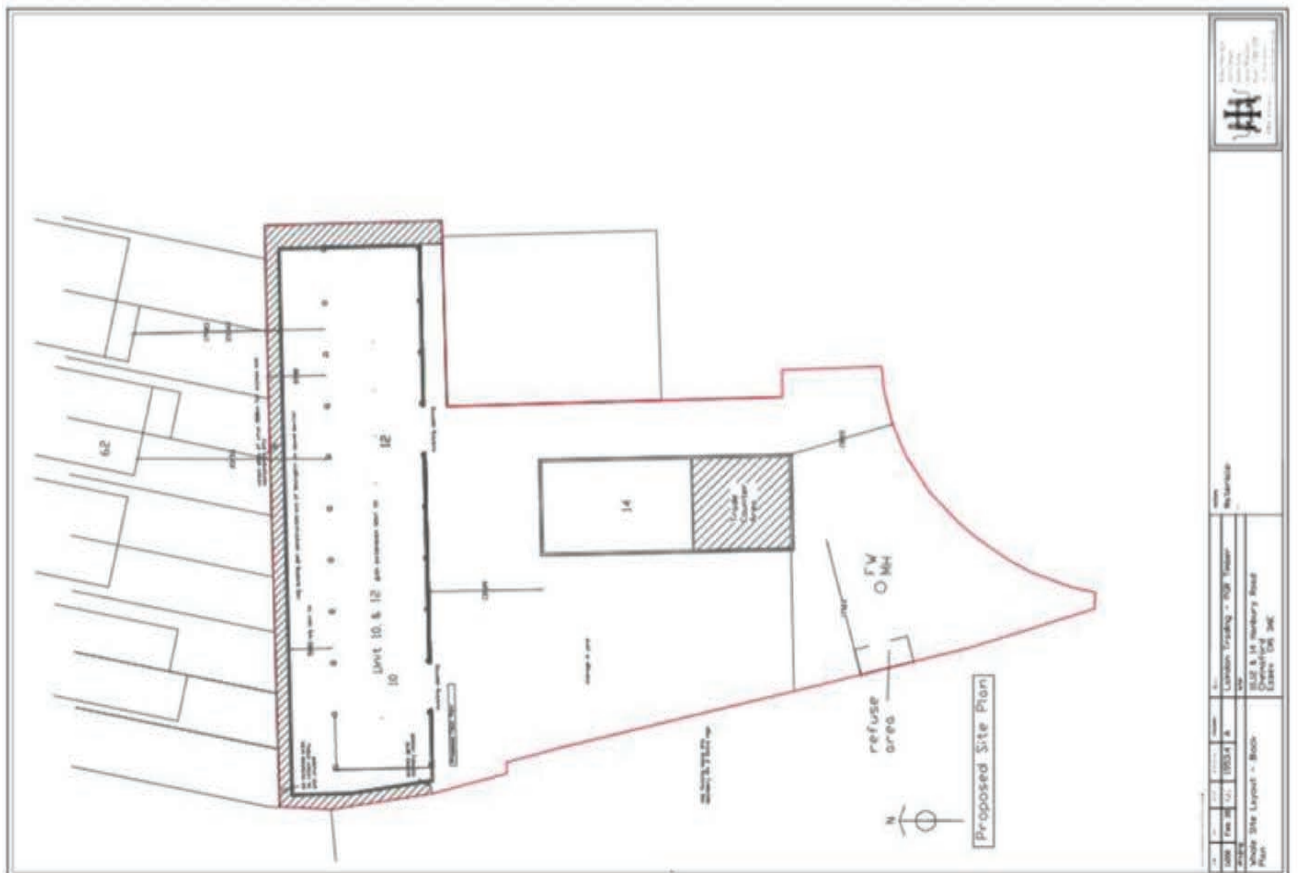
PGR Timbers and Builders Merchants, Hanbury Road, Chelmsford

Wednesday 14 July 2021

Position 4 - Shop Counter





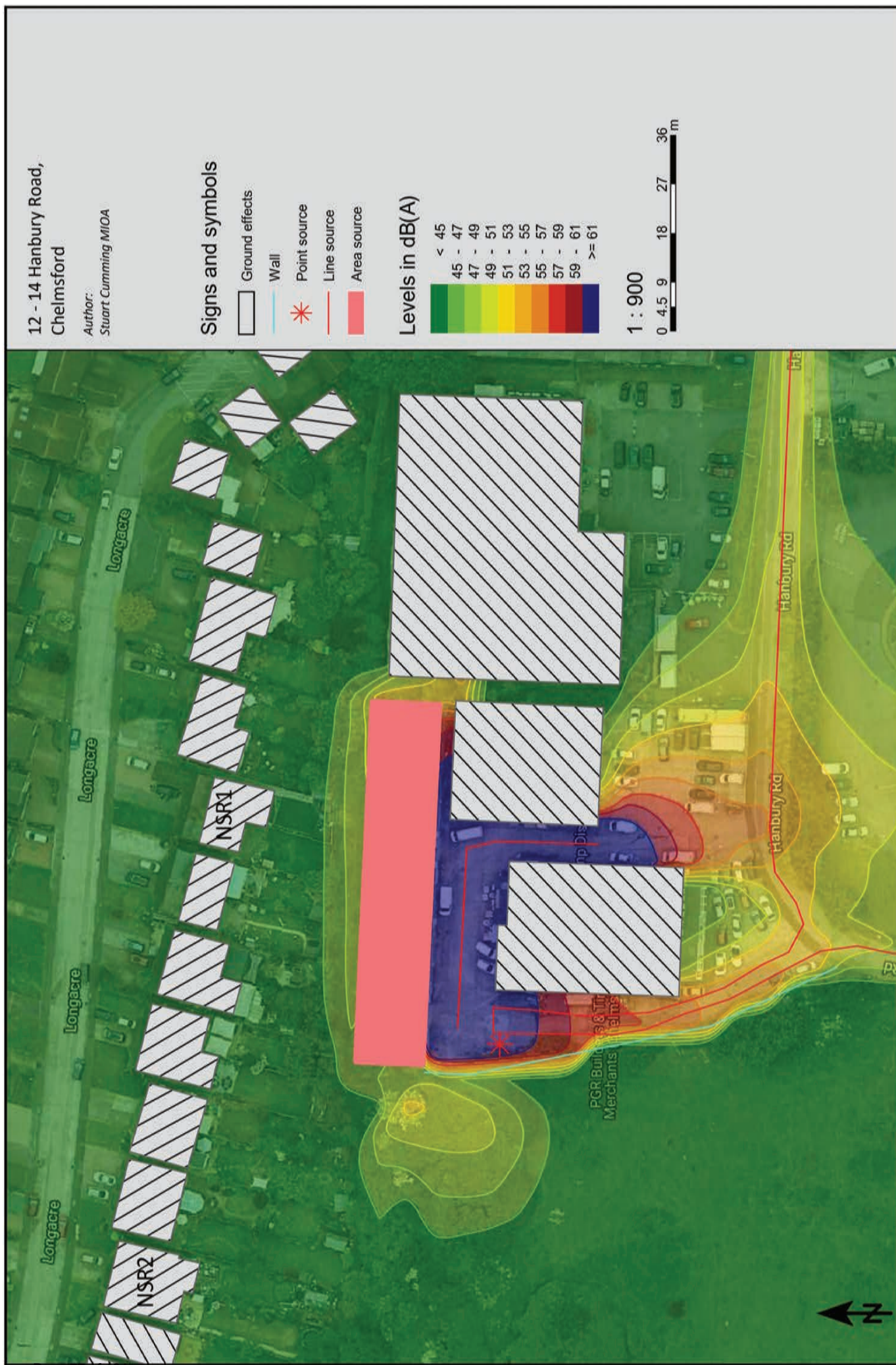


Proposed Plans
and Elevation
Unit 14

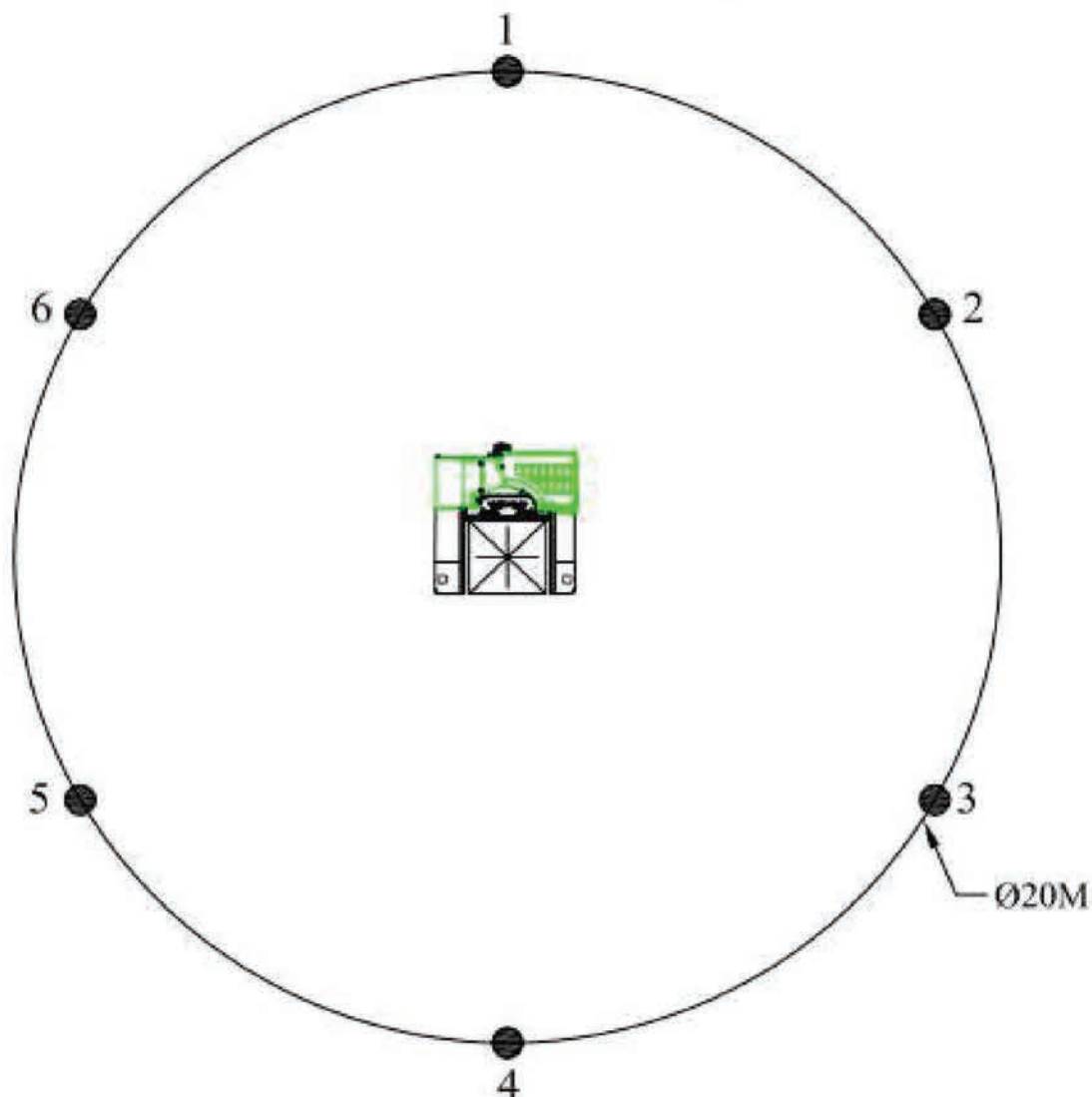
DATE	TIME	DATE	TIME	PROJECT	STATUS
1800	Mar 21	1953.2	E	Lalroon Trading - FGR Timber	NOTICE
Existing and Proposed Plans and Elevations Unit 14					
10.12 & 14 Hanbury Road Dreinsford SA4					



Appendix D2 - Noise Contour Map



COMBI-LIFT NOISE READINGS



MICROPHONE LOCATION	1	2	3	4	5	6
dB (A)	53.8	54.1	53.8	53.6	53.4	54.2

MACHINE DRIVING AT 10m RADIUS	
dB (A)	54.6

MICROPHONE LOCATION = 1.5M ABOVE GROUND LEVEL

WEATHER CONDITIONS: CLOUDY OVERHEAD
LIGHT BREEZE
TEMPERATURE OF 6° C

MACHINE SPECIFICATION: COMBI-LIFT C4000 E (Electric Drive)
LIFTING 4000KG

C-SERIES **C3000E-C5000E**

The electric multi-directional forklift designed for the safe, space saving and productive handling of long and bulky loads.

COMBiLiFT

LIFTING INNOVATION

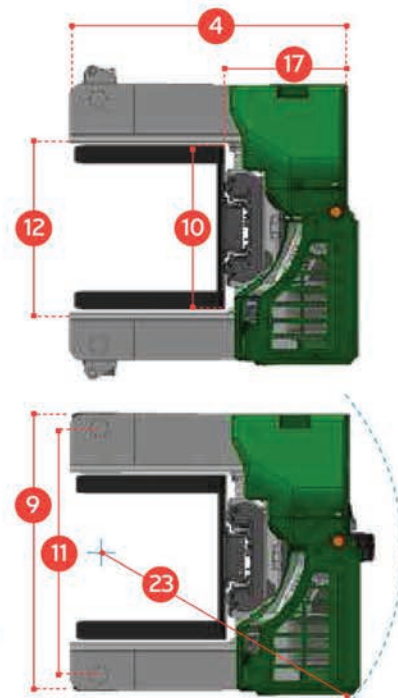
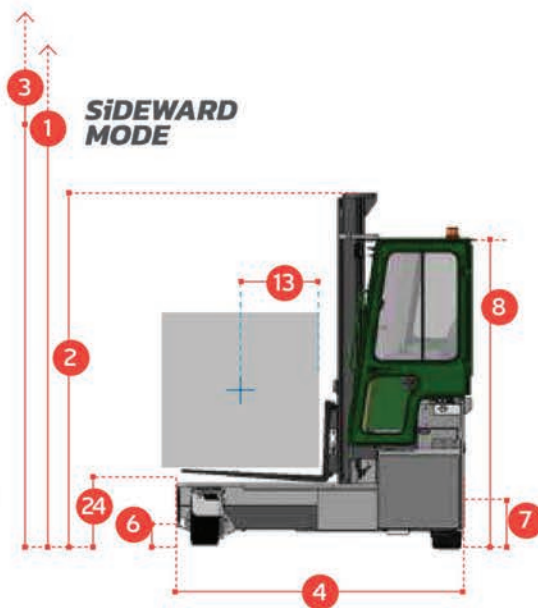


C-SERIES C3000E-C5000E

FRONTAL MODE



SI DEWARD MODE



REF.	DESCRIPTION	C3000 E	C4000 E	C5000 E
1a	Max. Lift Height		4040mm	
1b	Freelift Height		0mm	
2	Height Mast Closed		2855mm	
3	Max. (Mast raised)		4870mm	
4	Overall Length	1950mm	2300mm	2500mm
5	Mast Travel	950mm	1300mm	1450mm
6	Ground Clearance Under Mast		150mm	
7	Ground Clearance to Centre of Wheelbase		310mm	
8	Height Over Cab (Without work lights)		2440mm	
9	Width		2275mm	
10	Outside Spread of Fork Arms		1350mm	
11	Track Front		2025mm	
12	Frame Opening		1400mm	
13	Load Centre Distance	450mm	600mm	600mm
14	Overhang Front		220mm	
15	Wheelbase	1545mm	1895mm	2045mm
16	Overhang Back		135mm	
17	Length From Face of Fork	1100mm	1100mm	1150mm
18	Approach Angle		45°	
19	Ramp Angle		17°	
20	Departure Angle		45°	
21	Forward Tilt		3°	
22	Backward Tilt		5°	
23	Minimum Outside Radius	2235mm	2310mm	2490mm
24	Platform Height		485mm	
25	Platform Length	850mm	1200mm	1350mm
A	Capacity	3000kg	4000kg	5000kg
B	Unladen Weight	6300kg	6650kg	6850kg
C	Maximum Ground Speed		10km/h	
D	Gradeability		10%	
E	Battery Capacity (V / Ah)		80V / 620Ah	
F	Fork Section	50mm x 150mm x 850mm	50mm x 150mm x 1200mm	50mm x 150mm x 1350mm
G	405x305x220 Front Tyre (Solid Rubber)		OD 406mm / Width 220mm	
H	27 x 10-12 Rear Tyre		OD 680mm / Width 255mm	
I	Standard Colour		Green & Grey	
J	AC Electric Traction Motor x 2		80v / 5kW	
K	AC Electric Pump Motor		80V / 19kW	

Multi-Directional



Features Include:

- Rubber Mounted Cabin
- AC Motor Technology
- Multi-Direction Operation
- Load Sensing Steering
- Curtis AC Software
- 4 Way Lever Positioning of Wheels
- 2 Wheel Drive

Distributed by:

International Patent Application No. PCT/EP2014/053066; UK Patent Application No. GB 1302811.3

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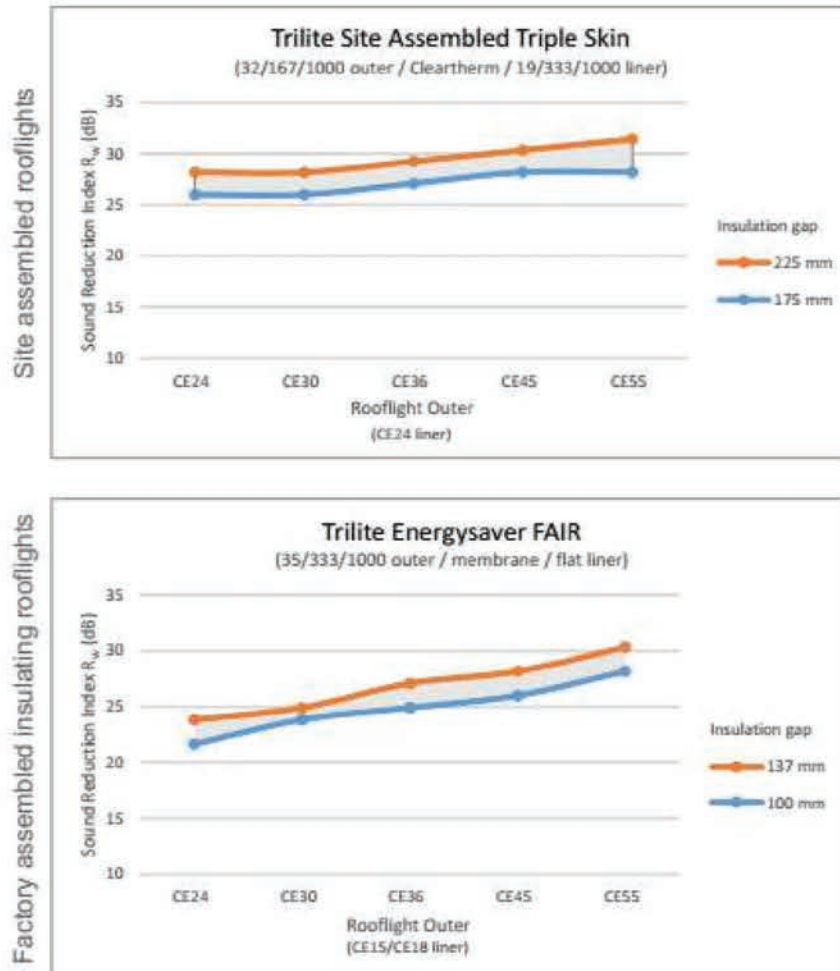


Daylight Systems

Acoustic performance of Trilite GRP rooflights

Page 1 of 1

Predicted sound attenuation (R_w) values for Trilite GRP rooflight assemblies



Values calculated using the SRI Prediction Tool (developed by the University of Salford Acoustics Research Centre) in combination with laboratory measurement testing of airborne sound insulation, and are suitable for preliminary design and appraisal of cladding systems.



Daylight Systems



Alderman's Green Ind Est Coventry CV2 2OU Tel: 024 7660 2022 daylight@brettmartin.com www.daylightsystems.com

The manufacturer operates a policy of continuous product improvement, and reserves the right to alter specifications at any time without notice. Every effort has been taken to ensure all details contained in this document are correct at the time of going to press but this document should be used only as a guide and does not in any way form part of a contract or warranty. It is the customer's responsibility to ensure that the product is suitable for the actual conditions of use, which are beyond the control of the manufacturer.

Appendix G - Area Size and Sound Reduction Index Composite Levels

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Size/Area of façade

Source name	Size (m ²)
Wall South	533.64 m ²
Roof top	841.72 m ²
Door 1	27.36 m ²
Door 2	26.88 m ²
North wall (m)	240.14 m ²
North wall (st)	293.50 m ²
East Wall (Ma)	45.36 m ²
East Wall (Ste)	55.44 m ²
West Wall (Ma)	45.36 m ²
West Wall (St)	55.44 m ²

Calculated Sound Reduction Index Composite Levels

		1/3 Octave Bands Frequency (Hz)																				
Façade Type	Façade Mat	50	63	80	100	125	160	200	250	315	400	500	630	800	1000	1250	1600	2000	2500	3150	4000	5000
Wall	Steel	9	9	10	11	12	13	14	15	16	15	15	15	16	16	17	19	20	21	23	24	24
Wall	Masonry & Steel	41	42	43	44	45	45	46	38	38	42	47	51	55	59	62	65	68	71	74	77	77

*This is based on a façade construction of 140mm block work with 0.6mm steel sheet cladding.

** 0.6mm steel sheet



HEALTHY ABODE ACOUSTICS

BUILDING ACOUSTICIANS & ENVIRONMENTAL NOISE CONSULTANTS

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MEMBER OF THE FEDERATION
OF SMALL BUSINESSES



10263
UKAS accredited laboratory
for Sound Insulation Testing

Our Ref: HA/AB808-2022-TN/V1

Date of Technical Note: 03 February 2022

PGR Timber and Builders Merchants c/o Mr Robert Kemball

Dear Mr Graham Toomey (PGR Timber and Builders Merchants),

Site Address: Units 10-12 Hanbury Road, Chelmsford, Essex CM1 3AE

Mr Graham Toomey on behalf of PGR Timber and Builders Merchants instructed Healthy Abode Ltd t/a HA Acoustics to undertake a sound test at the above premises on the early evening of Tuesday 18th January 2022 between 17:00-18:30 hours.

The Test was conducted in the presence of Chelmsford City Council's Public Health & Protection Services Operations Manager; who advised upon the test methodology.

The development, has undergone a change of use from B8 to Sui Generis use of Builders merchants. Unit 10 and 12 are utilised as storage. As part of the most recent, planning application, this Technical Note has been provided to detail the acoustic testing which sought to determine the level difference between noise levels internally to those received externally in the local resident's garden.

The purposes of this Technical Note are:

- To detail the procedures used throughout the measurement and processing phase.
- To determine and record the results of the façade measurements.

Methodology

The methodology was set by Chelmsford City Council's, Public Health & Protection Services Operations Manager (Officer). The Officer witnessed the testing.

The test method assessed the outdoor/indoor sound level difference. Two steady source dodecahedron loudspeaker source was utilised for this test. The Source room was Unit 10-12 Hambury

Road and the receiver was the centre of the residential dwellings rear garden, the dwelling having been chosen as it was located to the rear of Unit 10-12, in the middle section of residential housing.

For robustness, the Officer requested that Unit 10-12's two full façade height shutter doors were opened to their maximum. The reasoning being to replicate worst-case business operations. As such, it should be noted that a good degree of amplified sound would have been free to escape unimpeded out to atmosphere., the result being that the rear façade would behave more as a barrier, than an enclosed façade.

High volume "pink-EQ" noise was generated from two omnidirectional speakers and amps positioned in the source room. The speakers were positioned in order to obtain a diffuse sound field within the room. Measurements were taken using a sweeping microphone technique over a minimum period of 30 seconds. Sound levels were measured and recorded across the 1/3 octave frequency bands between 100 Hz – 3150 Hz. Measurements obtained below 100Hz are included.

The same measurement procedure was followed at the receiver location. Background measurements were also undertaken at the receiver location.

The differences between the levels in the source and receiver have been calculated. The receiver levels have been corrected for external background noise. This produces a spectrum of values known as the "Level Difference". This spectrum is then converted to a single figure result: the "Weighted Standardised Level Difference".

Equipment

The equipment used for the pre-completion sound tests is summarised in table 1, below.

Equipment	Description	Quantity	Serial Number
NTi XL2	Class 1 automated logging sound level meter	1	A2A-14765-E0
MA220 microphone	Class 1 ½" microphone	1	7564
NTi	Dodecahedron Sound Source DS3	1	D-1081-A3
NTi	Power Amplifier PA3	1	1168
NTi Audio XL2	Class 1 automated logging sound level meter	1	A2A-09265-E0
MA2230 microphone	Class 1 ½" microphone	1	5942
NTi	Dodecahedron Sound Source DS3	1	D-1105-A3
NTi	Power Amplifier PA3	1	1199
Larson Davis CAL200	Class 1 Calibrator	1	13530

Table 1 Description of Equipment used for testing

The sound level meter was calibrated before and after testing. No significant drift was recorded. Equipment calibration certificates can be provided upon request.

Results

The results provided within this Technical Note and accompanying datasheet only apply to the specific areas tested.

The results of the airborne testing are summarised in table 2. Full results are shown in the attached certificate(s).

	Test Element	Source	Receiver	Test Result, D_w
AB1	Rear Facade	Unit 12-14 Internal	External	32 dB D_w
AB2	Rear Facade	Unit 12-14 Internal	External	32 dB D_w

Table 2 Airborne Test Results

Please note, the tests results will include sound transmission of the roof. Due to the tests being undertaken on-site and not in a laboratory, it is not possible to report on the acoustic performance for just the wall, or the roof in isolation and/or remove any flanking paths and/or the amount of sound energy which escaped out of the front façade fully open double shutter doors.

Conclusion

In conclusion a sound test was undertaken with receiver point, in residential garden to the rear of Units 10-12 Hanbury Road, Chelmsford, Essex CM1 3AE. The sound testing was undertaken to the agreed methodology with Chelmsford City Council's Officer, the results are recorded within this Technical Note.

Yours Sincerely,



Miss Josie Nixon MSc BA(Hons) MIOA

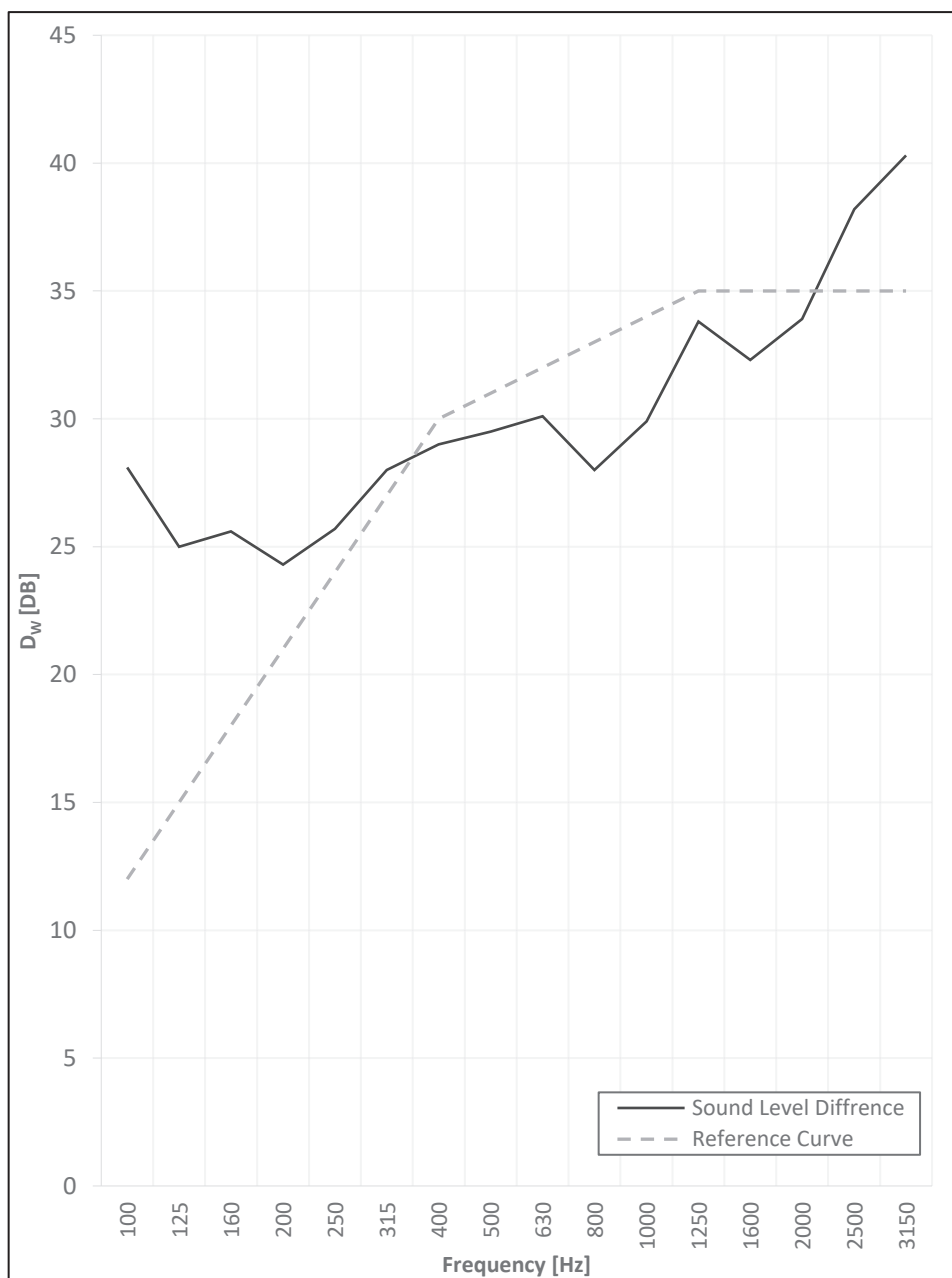
Healthy Abode Ltd t/a HA Acoustics

Standardised Level Difference
Field measurements of airborne sound insulation test

Client: PGR Timber and Builders Merchants
Location: Units 10-12 Hanbury Road, Chelmsford
Date: 18th January 2022



Frequency [Hz]	1/3 octave [dB]
100	28
125	25
160	26
200	24
250	26
315	28
400	29
500	30
630	30
800	28
1000	30
1250	34
1600	32
2000	34
2500	38
3150	40



Rating in accordance with 717-1:
Dw(C;Ctr)= 32 (-1; -2) dB

Report No: AB1
Date: 31/01/2022
Name: Healthy Abode Ltd t/a HA Acoustics
Signature:

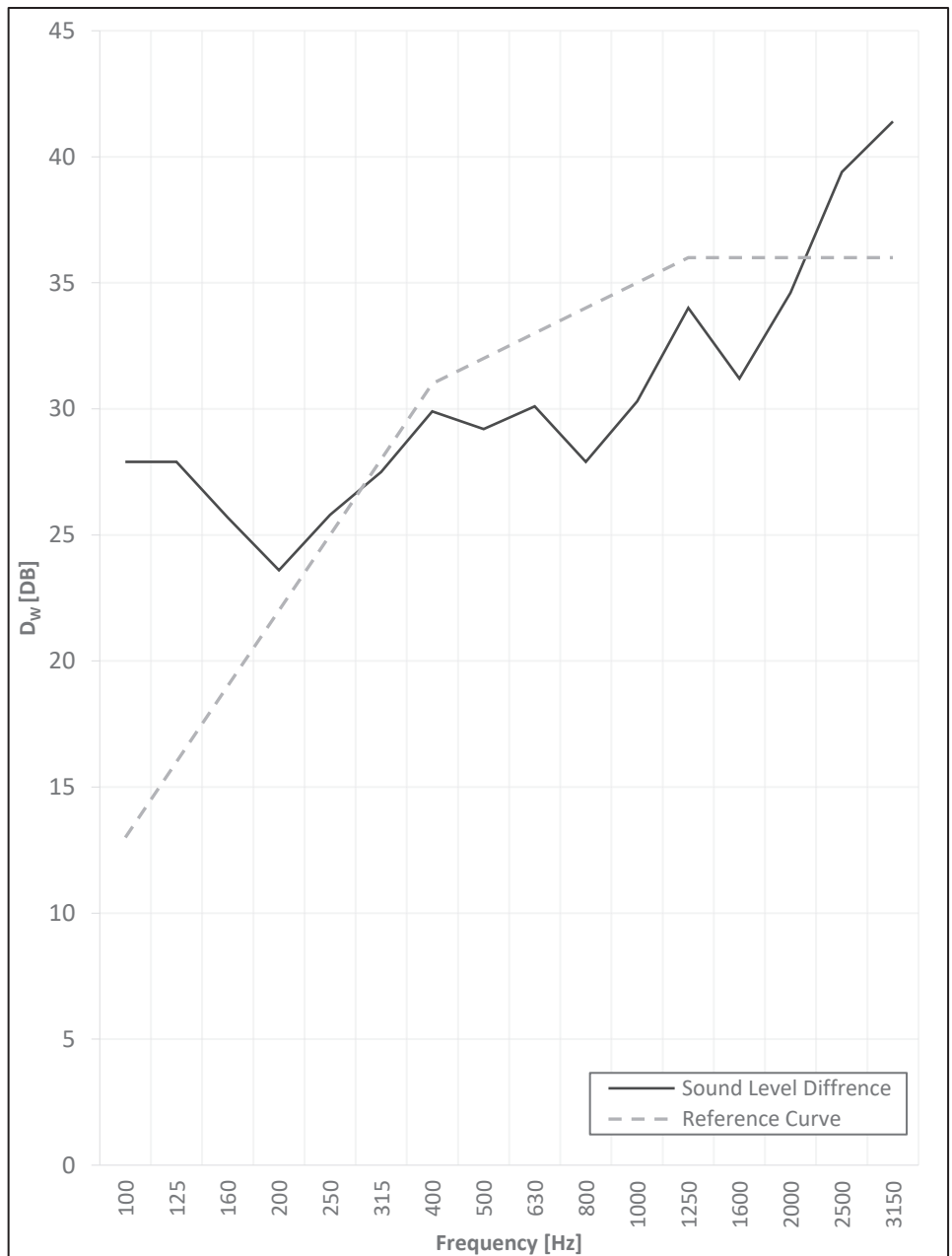
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Standardised Level Difference
Field measurements of airborne sound insulation test

Client: PGR Timber and Builders Merchants
Location: Units 10-12 Hanbury Road, Chelmsford
Date: 18th January 2022



Frequency [Hz]	1/3 octave [dB]
100	28
125	28
160	26
200	24
250	26
315	28
400	30
500	29
630	30
800	28
1000	30
1250	34
1600	31
2000	35
2500	39
3150	41



Rating in accordance with 717-1:
 $D_w(C;Ctr) = 32$ (-1; -2) dB

Report No: AB2
Date: 31/01/2022

Name: Healthy Abode Ltd t/a HA Acoustics
Signature:

A handwritten signature in black ink, appearing to read 'J. Nisan'.



Planning Committee

Application No	:	22/00014/FUL Full Application
Location	:	275 Baddow Road Great Baddow Chelmsford CM2 7QA
Proposal	:	Demolition of existing office building (Class E). Construction of 8 dwellings and widening of existing access.
Applicant	:	Mr Alex Middleton Broadfield Homes Ltd
Agent	:	
Date Valid	:	12th January 2022

Contents

1. Executive summary	2
2. Description of site	2
3. Details of the proposal	2
4. Other relevant applications	Error! Bookmark not defined.
5. Summary of consultations	3
6. Planning considerations	3
7. Community Infrastructure Levy (CIL)	7

Appendices:

Appendix 1	Consultations
Appendix 2	Drawings

1. Executive summary

- 1.1. This application is referred to planning committee at the request of the local ward member who considers that the proposal amounts to the overdevelopment of the site, that it would impact on neighbours and site amenities and that there would be potential access problems for delivery and refuse vehicles.
- 1.2. The application site lies within Chelmsford Urban Area where the principle of development is acceptable.
- 1.3. The site is set back from Baddow Road and accessed via a narrow access road. It is currently occupied by a large two storey commercial building, known as Rochester House, and an associated parking area. This proposal seeks to demolish the commercial building and construct eight dwellings in its place.
- 1.4. The houses would fit appropriately on the site and would cause no harm to the character of the area where there other examples of back land development schemes.
- 1.5. The proposal would have an acceptable relationship with neighbouring properties and would provide appropriate parking, garden and space standard provision.
- 1.6. Approval is recommended

2. Description of site

- 2.1. The application site is located within Chelmsford Urban Area where the principle of development is acceptable.
- 2.2. The site measures approximately 0.18 hectares and is set back from Baddow Road. It is currently occupied by a large commercial building with associated parking area. The main part of the site is accessed via a narrow road located between Nos. 273 and 277 Baddow Road. An existing row of parking spaces sits adjacent to the access road used in association with the commercial building to the rear.
- 2.3. There are ground level differences on the site with the commercial building set lower down than the houses fronting Baddow Road.
- 2.4. The street scene contains other examples of back land housing developments set behind Baddow Road.
- 2.5. An allotment site is to the north.

3. Details of the proposal

- 3.1. This application seeks to demolish the existing commercial building and construct eight dwellings in its place. The dwellings would sit around and face a central courtyard and vehicle turning area.
- 3.2. The dwellings would all be three storeys in form and would contain either three, four or five bedrooms.

- 3.3. The existing access road would be utilised. The existing crossover at Baddow Road would be widened by 1.5m to match the width of the access road. This would require the repositioning of a lamp post.

4. Summary of consultations

- 4.1. The following were consulted as part of this application:
- Public Health & Protection Services (PHPS)
 - Essex County Council Highways
 - Recycling & Waste Collection Services
 - Economic Development & Implementation
 - Great Baddow Parish Council
 - Local residents
- 4.2. PHPS note there is the potential for contamination from previous uses of the site. They have requested a condition relating to contaminated land. They have also requested a condition to provide EV charging spaces for each of the dwellings.
- 4.3. Essex County Council Highway Authority have stated that the proposal is acceptable to them subject to conditions relating to the access, parking and highway safety.
- 4.4. Great Baddow Parish Council have objected to the proposal as they consider that the proposed scheme would be an overdevelopment of the site with poor parking provision.
- 4.5. Three letters of objection have been received from local residents. The letters raised concerns about overdevelopment and impact on neighbour amenities.
- 4.6. Full details of the consultation responses are set out in Appendix 1.

5. Planning considerations

Main Issues

5.1. The main issues for consideration are:

- The effect of the proposal on the character and appearance of the area
- Whether the proposed development would have an acceptable relationship with neighbouring properties.

Character and appearance

5.2. The application site is located along Baddow Road and is within Chelmsford Urban Area and the principle of development is acceptable. Baddow Road is characterised by groups of two storey terraced properties set out in a linear pattern fronting onto the road. The houses have a matching form and traditionally have relatively long and narrow gardens.

- 5.3. There are many examples in the surrounding street scene of back land development including at Chelwater and at the land rear of Nos. 239- 257 Baddow Road. A new back land development to the rear of the linear terraced houses would not be out of keeping with the area.
- 5.4. The proposed scheme of eight houses would be laid out surrounding a central format with all the houses facing onto a courtyard which provides vehicle turning space. The houses include six detached and a pair of semi-detached houses. The pair of semi-detached houses, Plots 4 and 5, would be located at the end of the access road and would be a focal building at the end of the access which would be visible as a feature building when viewed from Baddow Road. Plots 1 and 8 would have side walls that sit adjacent to the access road. To create an active elevation both of these properties would have side windows facing onto the access road.
- 5.5. The eight houses all front a private turning area which, subject to the use of high quality of materials and appropriate landscaping would create a pleasant setting.
- 5.6. The houses would be 2 and a half storey with ridge heights ranging between 9.4m and 8.6m. This is comparable to a recently completed scheme at Chelwater a few metres to the east where new houses have ridge heights of 9.4m.
- 5.7. The houses have an attractive formal design which, whilst different to the houses fronting Baddow Road, creates a small cohesive development with some similarity to the new Chelwater development.
- 5.8. The scheme would reflect the character, context and appearance of the area where there are other groups of properties set back from the road.

Impact on the amenity of the neighbour

- 5.9. Objections have been received from local residents along Baddow Road who are concerned that the new buildings will be overbearing and that they will be overlooked by Plots 7 and 8 which are located in the south-east corner of the site. These plots back on to Nos 277-281 Baddow Road
- 5.10. The side elevation of the existing commercial building is positioned hard up against the end of the gardens of Nos. 277-281 Baddow Road. This has an eaves height of 3.1m and a ridge height of approximately 6m.
- 5.11. The new houses at Plots 7 and 8 would be set back from this shared boundary by approximately 11m and 10m respectively. This distance would not meet the required 15m back to boundary distance set out in Appendix B of the local plan. In this case however the development results in an improved relationship with existing houses as the proposal removes built form further from the neighbour's rear garden boundaries.
- 5.12. The houses would be taller (Plot 7- 8.5m and Plot 8 – 9.4m) than the existing commercial building, however the levels differences on the site would result in the houses being at a lower ground level than the neighbouring properties along Baddow Road. Whilst the houses on Plots 7 & 8 don't meet the recommended back to boundary distance of 15m, the site levels differences, along with the set-back position of the houses would prevent them from being overbearing.
- 5.13. The drawings indicate that these two dwellings have been designed to mitigate against overlooking. Plot 7 would have a first floor rear elevation containing three windows, one of which would be an obscure glazed bathroom window with the other two serving bedrooms. Two rear facing dormer windows on the second floor would serve bathrooms. These are shown to be obscure glazed. The

plans show that Plot 8 would have three rear facing first floor windows. One would serve a bathroom, the other two, a bedroom.

- 5.14. A 2.1m high brick wall would be retained along the common boundary. The section and topographical drawings submitted with the application show that due to the lower ground level position of plots 7 and 8, along with the presence of the brick wall along the common boundary, this would prevent any views from the habitable upper floor rear bedroom windows into the gardens of the neighbours. Bathroom windows within the first floor and within the roof slope can be conditioned to be obscure glazed. The proposal would prevent overlooking and subsequent loss of privacy of neighbouring properties.
- 5.15. Back-to-back distances between proposed plots 7 and 8 and existing houses on Baddow Road would be at least 29m which exceeds the minimum requirement of 25m set out in Appendix B
- 5.16. It is therefore considered that the relationship between plots 7 and 8 and Nos 277-281 Baddow Road would be acceptable.
- 5.17. Plot 1 is located on the western side of the site. The rear of this building backs onto No. 273 Baddow Road. At first floor the house would have two windows both of which are shown to be obscure glazed. The back to boundary distance would be 7.9m but the angled back-to-back distance would be 25m. While the plot would have a short back-to-boundary distance the obscure glazing of the upper floor windows would prevent overlooking into the neighbouring property. Additional planting along the boundary is also proposed. The relationship between this property and No. 273 Baddow Road would be acceptable.
- 5.18. The five dwellings to the north of the site (Plots 2-6) would back onto allotments. This would be acceptable.
- 5.19. To ensure that the relationships remain acceptable planning conditions will be attached to the decision requiring the indicated windows to be obscure glazed and for the 2.1m high boundary brick wall to be retained in perpetuity.

Other Matters

Development standards

- 5.20. The local plan requires that to provide a good standard of living for future occupants all habitable rooms should have windows in a wall. All of the eight units proposed would have windows serving habitable rooms and would provide a good standard of living for future occupants.
- 5.21. The houses would also need to meet the minimum internal space standards. The required standards and provision provided are set out below:

Plot No.	Room number and occupants	Required provision (sqm)	Proposed provision (sqm)
1	3 Beds 5 persons	99	104
2	4 Beds 6 persons	112	123
3	4 beds 6 persons	112	123

4	4 beds 6 persons	112	126
5	4 beds 6 persons	112	126
6	4 beds 8 persons	130	140
7	5 beds 8 persons	134	165
8	5 beds 8 persons	134	175

5.22. All of the dwellings would meet the required internal space standard for their property size.

5.23. All of the dwellings have been designed to have their own private refuse store.

Private amenity standards

5.24. The local plan requires that houses with three or more bedrooms in this location have a minimum of 80sqm of private amenity space. All the houses are provided with rear garden spaces. Plot 1 has a garden area of 70 sqm with Plots 7 and 8 having garden areas of 83sqm. Plots 2-6 have ground floor garden areas measuring between 50 and 70sqm but are all served by second floor terraces typically measuring 20sqm in size.

5.25. The garden areas and terrace sizes for each unit are set out in the table below.

	Total amenity space (sqm)	Garden size (sqm)	Terrace size (sqm)
Plot 1	70	70	N/A
Plot 2	82	62	20
Plot 3	80	60	20
Plot 4	81	61	20
Plot 5	72	52	20
Plot 6	80	70	10
Plot 7	83	83	N/A
Plot 8	83	83	N/A

5.26. Plots 1 and 5 have a total amenity which falls below minimum standards. However, the garden size for Plot 1 is only just shy of the standard and would be useable for future residents. The garden area for Plot 5 would be accompanied by the roof terrace, the overall amenity for this plot would also be useable amenity for future residents.

5.27. The amenity provision for all the units would be acceptable.

5.28. As the garden sizes and amenity provision are very close or below the minimum standards it is considered necessary to remove permitted development rights for extensions and outbuildings. Conditions on this basis will be attached to the decision.

Access and parking

5.29. The existing access point on Baddow Road would be widened by 1.5m. This increase in width would allow for the safe ingress and egress from the site. The Highways Authority have raised no objections to the increased access arrangements.

- 5.30. The houses have all been provided with two parking spaces each. This would be in line with parking standards.
- 5.31. Two visitor spaces are also proposed adjacent to plot 1. The visitor parking provision would be acceptable.
- 5.32. Each house has also been provided with a cycle store.
- 5.33. The swept path analysis shows that refuse vehicles will be able to enter the site, turn around, and exit in a forward gear.
- 5.34. The access arrangements and parking provision would be acceptable.

Contamination

- 5.35. The existing use of the site is as a commercial building. The Council's public health and protection services have raised concerns that the current commercial uses of the site may lead to contamination. They have therefore requested a condition relating to the contaminated land.
- 5.36. The condition would be considered appropriate and will be attached to the decision.

RAMS

- 5.37. New residential development at this site has the potential to cause disturbance to European designated sites and therefore the development must provide appropriate mitigation. This is necessary to meet the requirements of the Conservation of Habitats and Species Regulations 2017. The applicant has provided a financial contribution which will go towards mitigation at a local wildlife site.

Conclusion

- 5.38. The proposed scheme would have an acceptable relationship with the character and appearance of the area and would have an acceptable relationship with neighbouring properties. It would be acceptable on all other grounds.

6. Community Infrastructure Levy (CIL)

- 6.1. This application would be CIL liable and a CIL charge would be payable.

RECOMMENDATION

The Application be APPROVED subject to the following conditions:-

Condition 1

The development hereby permitted shall begin no later than 3 years from the date of this decision.

Reason:

In order to comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Condition 2

The development hereby permitted shall be carried out in accordance with the approved plans and conditions listed on this decision notice.

Reason:

In order to achieve satisfactory development of the site

Condition 3

Prior to any construction works, detailed drawings and sections showing the finished levels of all parts of the development in relation to the levels of the surrounding area and neighbouring buildings shall have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason:

To ensure that the development is constructed at suitable levels in relation to its surroundings in accordance with Policy DM23 of the Chelmsford Local Plan.

Condition 4

Prior to their use, details of the materials to be used in the construction of the development hereby permitted shall be submitted to and approved in writing by the local planning authority. The development shall then be carried out in accordance with the approved details.

Reason:

To ensure that the development is visually acceptable in accordance with Policy DM23 of the Chelmsford Local Plan.

Condition 5

a) Details of the proposed treatment of all boundaries, including drawings of any gates, fences, walls, railings or piers, shall be submitted to and approved in writing by the local planning authority.

b) The development shall not be occupied until the boundary treatments have been provided in accordance with the approved details.

Reason:

To ensure the proposed development is visually satisfactory and does not prejudice the appearance of the locality in accordance with Policy DM23 of the Chelmsford Local Plan.

Condition 6

Prior to their installation, details of the facilities for the storage of refuse and recyclable materials shall be submitted to and approved in writing by the local planning authority. The development shall not be occupied

until the facilities for the storage of refuse and recyclable materials have been provided in accordance with the approved details.

Reason:

To ensure that suitable facilities for refuse disposal are provided and that such facilities are visually satisfactory in accordance with Policy DM23 and DM26 of the Chelmsford Local Plan.

Condition 7

Prior to the first occupation of the dwellings hereby permitted, charging infrastructure for electric vehicles shall be installed and retained at a rate of 1 charging point per dwelling.

Reason:

To ensure that the development is constructed sustainably in accordance with Policy DM25 of the Chelmsford Local Plan.

Condition 8

All new dwelling units as hereby approved shall be constructed to achieve increased water efficiency to a standard of no more than 110 litres of water per person per day in accordance with Building Regulations Approved Document Part G (2015 - as amended).

Reason:

To ensure the development reduces water dependency in accordance with Policy DM25 of the Chelmsford Local Plan.

Condition 9

The dwellings hereby approved shall not be occupied until the extended vehicular access point shown on approved drawing A522/03I has been constructed in accordance with the approved plans. The access shall be retained thereafter.

Reason:

To ensure that the development is accessible in accordance with Policy DM23 [and DM24] of the Chelmsford Local Plan.

Condition 10

No dwelling shall be occupied until the turning area, parking spaces for each dwelling and visitor parking spaces have been laid out and made ready for use in accordance with approved drawing A522/03I. Thereafter the turning and parking areas shall be retained and kept available for the parking of vehicles only.

Reason:

To ensure that sufficient parking is available to serve the development in accordance with Policy DM27 of the Chelmsford Local Plan.

Condition 11

No unbound material shall be used in the surface treatment of the vehicular access hereby permitted within 6 metres of the highway boundary.

Reason:

To avoid displacement of loose material onto the highway in the interests of highway safety.

Condition 12

There shall be no discharge of surface water from the development site onto the Highway.

Reason:

To prevent hazards caused by water flowing onto the highway and to avoid the formation of ice on the highway in the interest of highway safety.

Condition 13

The first floor en suite window in the southern rear elevation of Plot 8 facing towards Nos. 277- 283 Baddow Road and shown to be obscure glazed on approved Drawing No A522/10B shall be:

- a) obscured (minimum Level 3 obscurity level) and
- b) of a design not capable of being opened below a height of 1.7m above finished floor level and shall remain so obscured and non-openable.

Reason:

To safeguard the privacy of the occupiers of the adjacent property or properties in accordance with Policy DM29 of the Chelmsford Local Plan.

Condition 14

The western most of the three first floor windows and the second floor dormer windows in the southern rear elevation of Plot 7 facing towards Nos 277- 283 Baddow Road and shown on approved Drawing No A522/13C shall be:

- a) obscured (minimum Level 3 obscurity level) and
- b) of a design not capable of being opened below a height of 1.7m above finished floor level and shall remain so obscured and non-openable.

Reason:

To safeguard the privacy of the occupiers of the adjacent property or properties in accordance with Policy DM29 of the Chelmsford Local Plan.

Condition 15

The first floor windows in the south elevation of Plot 1 facing towards No. 273 Baddow Road and shown on approved Drawing No A522/05B shall be:

- a) obscured (minimum Level 3 obscurity level) and
- b) of a design not capable of being opened below a height of 1.7m above finished floor level and shall remain so obscured and non-openable.

Reason:

To safeguard the privacy of the occupiers of the adjacent property or properties in accordance with Policy DM29 of the Chelmsford Local Plan.

Condition 16

Details of both hard and soft landscape works shall be submitted to and approved in writing by the local planning authority. Subsequently these works shall be carried out as approved prior to the first occupation of any part of the development or in the first available planting season following such occupation. The landscaping details to be submitted shall include:

- a) hard surfacing including pathways and driveways, other hard landscape features and materials;
- b) existing trees, hedges or other soft features to be retained;
- c) planting plans including specifications of species, sizes, planting centres, number and percentage mix;

- d) Details of planting or features to be provided to enhance the value of the development for biodiversity and wildlife;
- e) Management details and a five year maintenance plan

Reason:

In order to add character to the development, to integrate the development into the area and to promote biodiversity in accordance with Policies DM16 and Policy DM23 of the Chelmsford Local Plan.

Condition 17

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking or re-enacting that Order with or without modification), the dwellings hereby permitted shall not be enlarged or extended without the grant of an additional planning permission by the local planning authority.

Reason:

To ensure that adequate private amenity space is retained for the dwelling in accordance with Policy DM26 of the Chelmsford Local Plan.

Condition 18

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking or re-enacting that Order with or without modification), no outbuildings shall be constructed within the gardens of any of the dwellings hereby permitted without the grant of an additional planning permission by the local planning authority.

Reason:

To ensure that adequate private amenity space is retained for the dwelling in accordance with Policy DM26 of the Chelmsford Local Plan.

Condition 19

The 2.1m wall located on the boundary between Plots 7 and 8 and the neighbours on Baddow Road shall be retained as shown on the approved drawing and shall not be removed or altered without a further grant of planning permission from the local planning authority.

Reason:

In the interests of protecting the living environment of occupiers of neighbouring dwellings in accordance with Policy DM29 of the Chelmsford Local Plan.

Condition 20

a) No development shall take place until a scheme to assess and deal with any contamination of the site has been submitted to and approved in writing by the local planning authority.

b) Prior to the occupation or first use of the development, any remediation of the site found necessary shall be carried out, and a validation report to that effect submitted to the local planning authority for written approval and the development shall be carried out in accordance with that scheme.

Reason:

This information is required prior to the commencement of the development because this is the only opportunity for contamination to be accurately assessed. This is to ensure the development does not give rise to problems of pollution or contamination in accordance with Policy DM30 of the Chelmsford Local Plan.

Condition 21

All roads shown on the approved drawing to be served by a refuse collection vehicle shall be constructed to a standard capable of carrying a 26 tonne vehicle.

Reason:

In the interests of highway safety and to ensure that the development is accessible in accordance with Policy DM23 of the Chelmsford Local Plan.

Notes to Applicant

- 1 In order to cause minimum nuisance to neighbours, the applicant is strongly advised to follow guidelines for acceptable working hours set out by the Council's Public Health and Protection team.

Noisy work

- Can be carried out between 0800 and 1800 Monday to Friday
- Limited to 0800-1300 on Saturdays
- At all other times including Sundays and Bank Holidays, no work should be carried out that is audible beyond the boundary of the site

Light work

- Acceptable outside the hours shown above
- Can be carried out between 0700 and 0800; and 1800-1900 Monday to Friday

In some circumstance further restrictions may be necessary.

For more information, please contact Chelmsford City Council Public Health and Protection Services, or view the Council's website at www.chelmsford.gov.uk/construction-site-noise

- 2 The proposed demolition in the scheme should not be carried out until you have given notice to the Chelmsford City Council (Building Control Manager) of your intention to do so pursuant to Section 80 of the Building Act 1984.

Notice should be in writing and accompanied by a block plan (e.g. 1/500) clearly identifying the building(s) to be demolished.

- 3 The Highway Authority (Essex County Council) must be contacted regarding the details of any works affecting the existing highway. Contact details are:

Development Management Team,
Essex Highways,
Springfield Highways Depot,
Colchester Road,
Chelmsford
CM2 5PU.

Telephone: 0845 603 7631. Email: development.management@essexhighways.org.

- 4 The proposed development may be liable for a charge under the Community Infrastructure Levy Regulations 2010 (as Amended). If applicable, a Liability Notice will be sent as soon as possible to the applicant and any other person who has an interest in the land. This will contain details of the chargeable amount and how to claim exemption or relief if appropriate. There are further details on

this process on the Council's website at www.chelmsford.gov.uk/cil, and further information can be requested by emailing cilenquiries@chelmsford.gov.uk. If the scheme involves demolition, for the purposes of the Regulations the development will be considered to have begun on commencement of the demolition works.

- 5 Please note that the Council will contact you at least annually to gain information on projected build out rates for this development. Your co-operation with this request for information is vital in ensuring that the Council maintains an up to date record in relation to Housing Land Supply.
- 6 This permission is subject to conditions, which require details to be submitted and approved by the local planning authority. Please note that applications to discharge planning conditions can take up to eight weeks to determine.
- 7 This development will result in the need for a new postal address. Applicants should apply in writing, email or by completing the online application form which can be found at www.chelmsford.gov.uk/streetnaming. Enquires can also be made to the Address Management Officer by emailing Address.Management@chelmsford.gov.uk
- 8 This planning permission is subject to planning condition(s) that need to be formally discharged by the Council. Applications to discharge planning conditions need to be made in writing to the local planning authority. Forms and information about fees are available on the Council's website.
- 9 New trees within the application site should be included as part of the landscaping proposals.

Positive and Proactive Statement

The Local Planning Authority provided advice to the applicant before the application was submitted and also suggested amendments to the proposal during the life of the application. The Local Planning Authority has assessed the proposal against all material considerations including planning policies and any comments that may have been received. The planning application has been approved in accordance with the objectives of the National Planning Policy Framework to promote the delivery of sustainable development and to approach decision taking in a positive way.

Background Papers

Case File

Public Health & Protection Services

Comments
<p>17.01.2022 - Please put on the ENV07 contaminated land condition. Potential for contamination from previous industrial uses.</p> <p>Residential development should provide EV charging point infrastructure to encourage the use of ultra-low emission vehicles at the rate of 1 charging point per unit (for a dwelling with dedicated off-road parking) and/or 1 charging point per 10 spaces (where off-road parking is not allocated).</p>

Essex County Council Highways

Comments
<p>03.02.2022 - Your Ref: 22/00014/FUL</p> <p>Our Ref: CO/EGD/SD/RM/CHL/22/14/51993</p> <p>Date:- 3rd February 2022</p> <p>' The residential proposal replaces the existing office building planning use.</p> <p>' It would provide off-street parking, including visitor parking provision, in accordance with the adopted Parking Standards.</p> <p>' A turning facility for refuse freighters and other heavy goods vehicles, is provided to enable them to turn and leave the site in forward gear.</p> <p>From a highway and transportation perspective the impact of the proposal is acceptable to the Highway Authority subject to the following conditions:</p> <p>1. Baddow Road is a Secondary Distributor in the Essex County Council (ECC) Route Hierarchy, whose function is to carry traffic safely and efficiently between substantial rural populations and on through routes in built up areas within the region. It is a bus route and subject to a 30mph speed limit. To the north west, it</p>

connects to the busy Army and Navy roundabout junction with the A1114 Van Diemens Road/Princes Road, A1060 Parkway, A138 Chelmer Road and A1114 Essex Yeomanry Way, which are designated in the ECC Development Management Route Hierarchy as Main Distributor Routes (the function of Main Distributor Routes is the carrying of traffic safely and efficiently between major centres within the County). Baddow Road is therefore subject to high two way flows and high volume traffic.

Therefore, a Construction Management Plan shall be submitted, prior to commencement of development, details to be agreed with the Local Planning Authority. The Construction Management Plan shall include:

- i. the parking of vehicles of site operatives and visitors.
- ii. loading and unloading of plant and materials.
- iii. storage of plant and materials used in constructing the development.
- iv. highway safety considerations and hours of deliveries to avoid the traffic network morning and afternoon peak hours.
- v. wheel and underbody washing facilities.

Reason: To ensure that on-street parking of these vehicles in the adjoining streets does not occur, to ensure that loose materials and spoil are not brought out onto the highway in the interests of highway safety and Policy DM1.

Note - MUD / DEBRIS ON HIGHWAY - Under Section 148 of the Highways Act 1980 it is an offence to deposit mud, detritus etc. on the highway. In addition, under Section 161 any person, depositing anything on a highway which results in a user of the highway being injured or endangered is guilty of an offence. Therefore, the applicant must ensure that no mud or detritus is taken onto the highway.

2. Prior to first occupation of any of the proposed dwellings, the proposed access road shall be constructed to a width of 6 metres as shown in principle in the Proposed Site Plan, drawing no. A522/03, Rev H and provided with an appropriate dropped kerb crossing of the footway:

- i. This shall include the relocation of the existing lamp column to a location to be agreed in writing with the Highway Authority as part of the highway works and to be carried out at no cost to the Highway Authority.
- ii. There would be a retained parking area for vehicles, located on the east side of and close to the junction of the proposed new access road to Baddow Road. This area is 14.2 metres long by 5 metres wide. The area to the southeast of the vehicular access, as measured 4 metres from the back edge of the footway by 5 metres wide, shall be suitably landscaped to prevent the parking of any vehicle, which would otherwise be parallel and adjacent to the back edge of the footway. This is required to reduce conflict and risk between vehicles accessing the residential development and the existing parking area adjacent and southeast side of the remodelled vehicular access to Baddow Road. This shall include a clear to ground parallel area of 2.4 metre area as measured from the footway kerb edge into the site. This is required to provide appropriate visibility to the east side of the vehicular access.

Reason: To ensure that vehicles can enter and leave the highway in a controlled manner, to ensure that opposing vehicles can pass clear of the limits of the highway and provide adequate inter-visibility between vehicles using the vehicular access and those in the existing public highway, in the interests of highway safety in accordance with policy DM1.

3. There shall be no discharge of surface water from the development onto the Highway.

Reason: To prevent hazards caused by water flowing onto the highway and to avoid the formation of ice on the highway in the interest of highway safety to ensure accordance with policy DM1.

4. No unbound material shall be used in the surface treatment of the vehicular access within 6 metres of the highway boundary.

Reason: To avoid displacement of loose material onto the highway in the interests of highway safety in accordance with policy DM1.

5. Any new boundary planting shall be planted a minimum of 1 metre back from the highway boundary and any visibility splay.

Reason: To ensure that the future outward growth of the planting does not encroach upon the highway or interfere with the passage of users of the highway, to preserve the integrity of the highway and in the interests of highway safety and in accordance with Policy DM1.

6. Prior to first occupation of the development the vehicular turning facility, shown in the Swept Path Analysis drawing, at the end of the proposed access road, shall be constructed, surfaced and maintained free from obstruction within the site at all times for that sole purpose.

Reason: To ensure that vehicles can enter and leave the highway in a forward gear in the interest of highway safety in accordance with policy DM1.

7. Prior to first occupation of the proposed development, the 18no. parking spaces, which includes 2no. unallocated visitor parking spaces, shown in the Proposed Site Plan, drawing no. A522/03, Rev H and the Swept Path Analysis drawing, shall be constructed ready for use. The vehicle parking area and associated turning area shall be retained in this form at all times.

Reason: To ensure that on street parking of vehicles in the adjoining streets does not occur in the interests of highway safety and that appropriate parking is provided in accordance with Policy DM8.

8. Cycle parking shall be provided in accordance with the EPOA Parking Standards. The approved facility shall be secure, convenient, covered and provided prior to occupation and retained at all times.

Reason: To ensure appropriate cycle parking is provided in the interest of highway safety and amenity in accordance with Policy DM8.

9. Prior to occupation of the proposed development, the Developer shall be responsible for the provision and implementation of a Residential Travel Information Pack per dwelling, for sustainable transport, approved by Essex County Council, to include six one day travel vouchers for use with the relevant local public transport operator.

Reason: In the interests of reducing the need to travel by car and promoting sustainable development and transport in accordance with policies DM9 and DM10.

General

I. Prior to any works taking place in public highway or areas to become public highway the developer shall enter into an appropriate agreement with the Highway Authority to regulate construction works. This will include the submission of detailed engineering drawings for approval and a safety audit.

II. The above to be provided at no cost to the Highway Authority

III. The above to be imposed on the planning permission (if granted) by planning obligation or condition, as necessary.

IV. The Highway Authority cannot accept any liability for costs associated with a developer's improvement. This includes design check safety audits, site supervision, commuted sums for maintenance and any potential claims under Part 1 and Part 2 of the Land Compensation Act 1973. To protect the Highway Authority against such compensation claims a cash deposit or bond may be required.

V. All housing developments in Essex which would result in the creation of a new street (more than five dwelling units communally served by a single all-purpose access) will be subject to The Advance Payments Code, Highways Act, 1980. The Developer will be served with an appropriate Notice within 6 weeks of building regulations approval being granted and prior to the commencement of any development must provide guaranteed deposits which will ensure that the new street is constructed in accordance with acceptable specification sufficient to ensure future maintenance as a public highway.

The above conditions are to ensure that the proposal conforms to the relevant policies contained within the County Highway Authority's Development Management Policies, adopted as County Council Supplementary Guidance in February 2011.

Please include the Informative for condition 2 above:

All work within or affecting the highway is to be laid out and constructed by prior arrangement with, and to the requirements and satisfaction of, the Highway Authority, details to be agreed before the commencement of works.

The applicants should be advised to contact the Development Management Team by email at development.management@essexhighways.org

Recycling & Waste Collection Services

Comments

No response received

Economic Development & Implementation

Comments

No response received

Great Baddow Parish Council

Comments

25.01.2022 - The Parish Council objects to this planning application. It is considered an overdevelopment of the site with too many properties being proposed, inadequate parking and the situation compounded by service vehicles accessing the site via the shared drive.

Local Residents

Comments

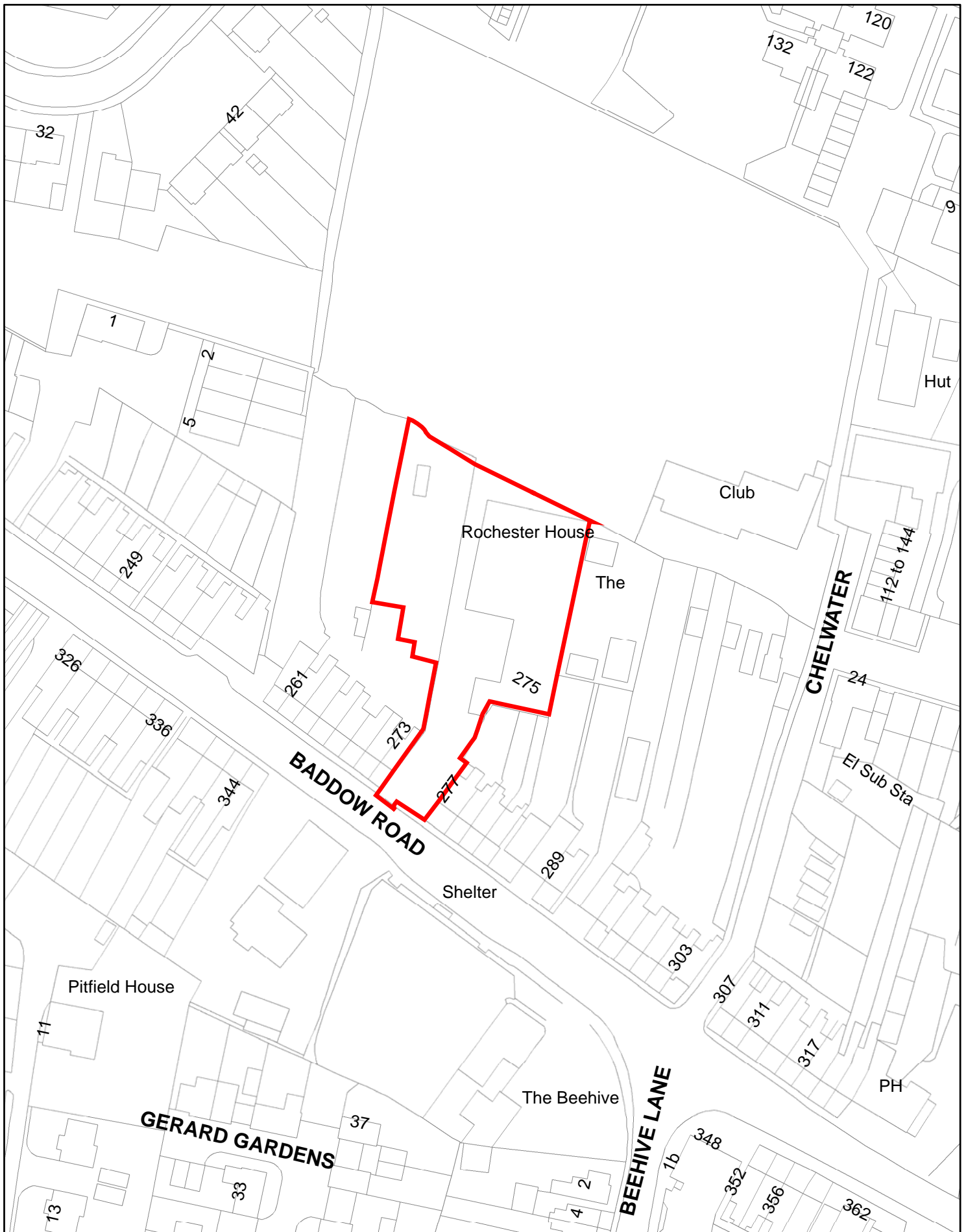
Throughout the lifetime of the application three letters of objection were received by local residents. The comments raised the following matters:

Overdevelopment

- Amounts to overdevelopment of the site
- Proposed properties out of keeping with the street scene

Impacts on neighbour amenity

- Proposal will overlook garden and invade privacy
- Trees will be removed so overlooking will occur.
- Noise pollution will be increased
- Plot 8 overlooks property and garden
- Access to rear garden from shared driveway must be retained



0 10 20 40 Metres

1:1,000

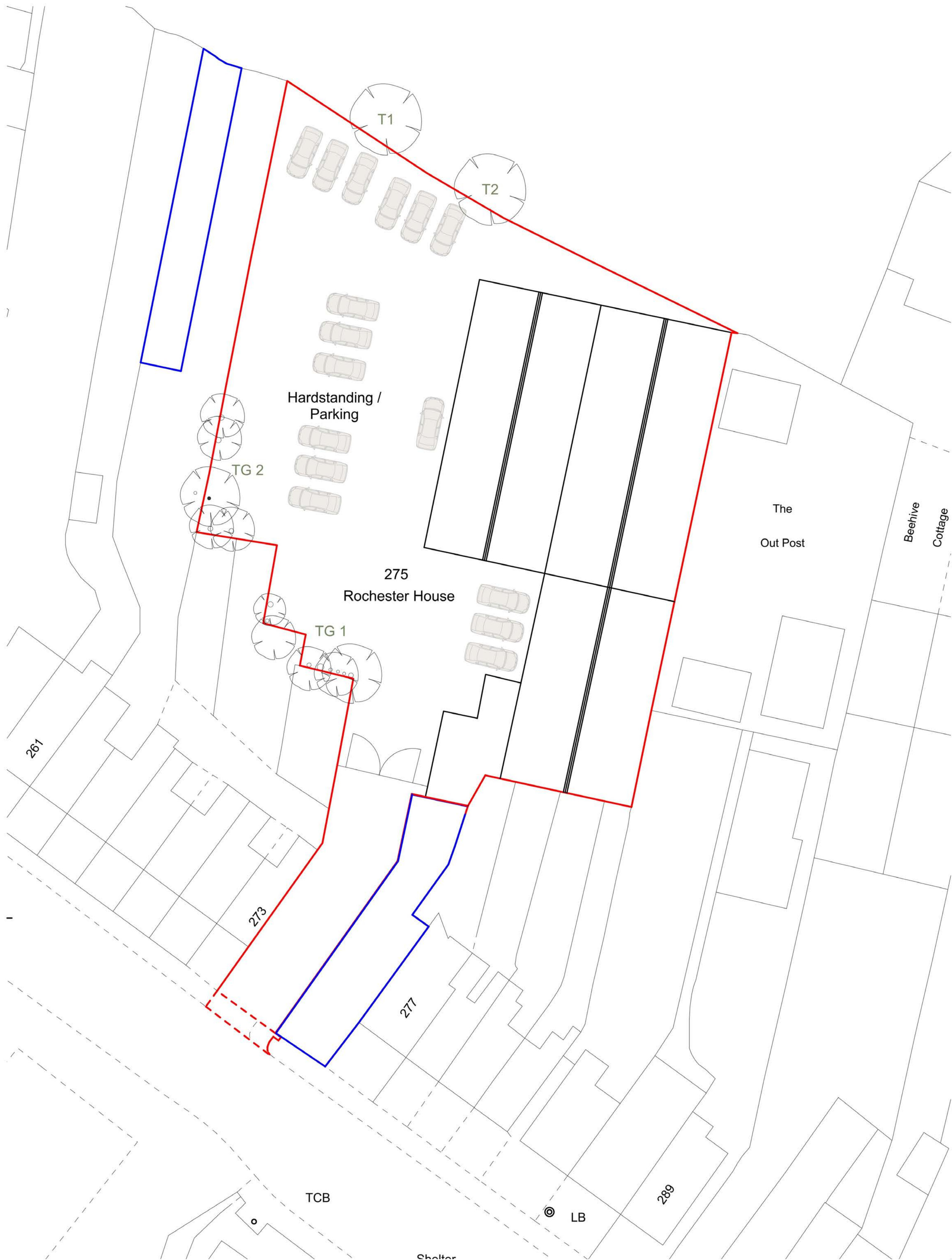


Planning Committee
****22/00014/FUL ****

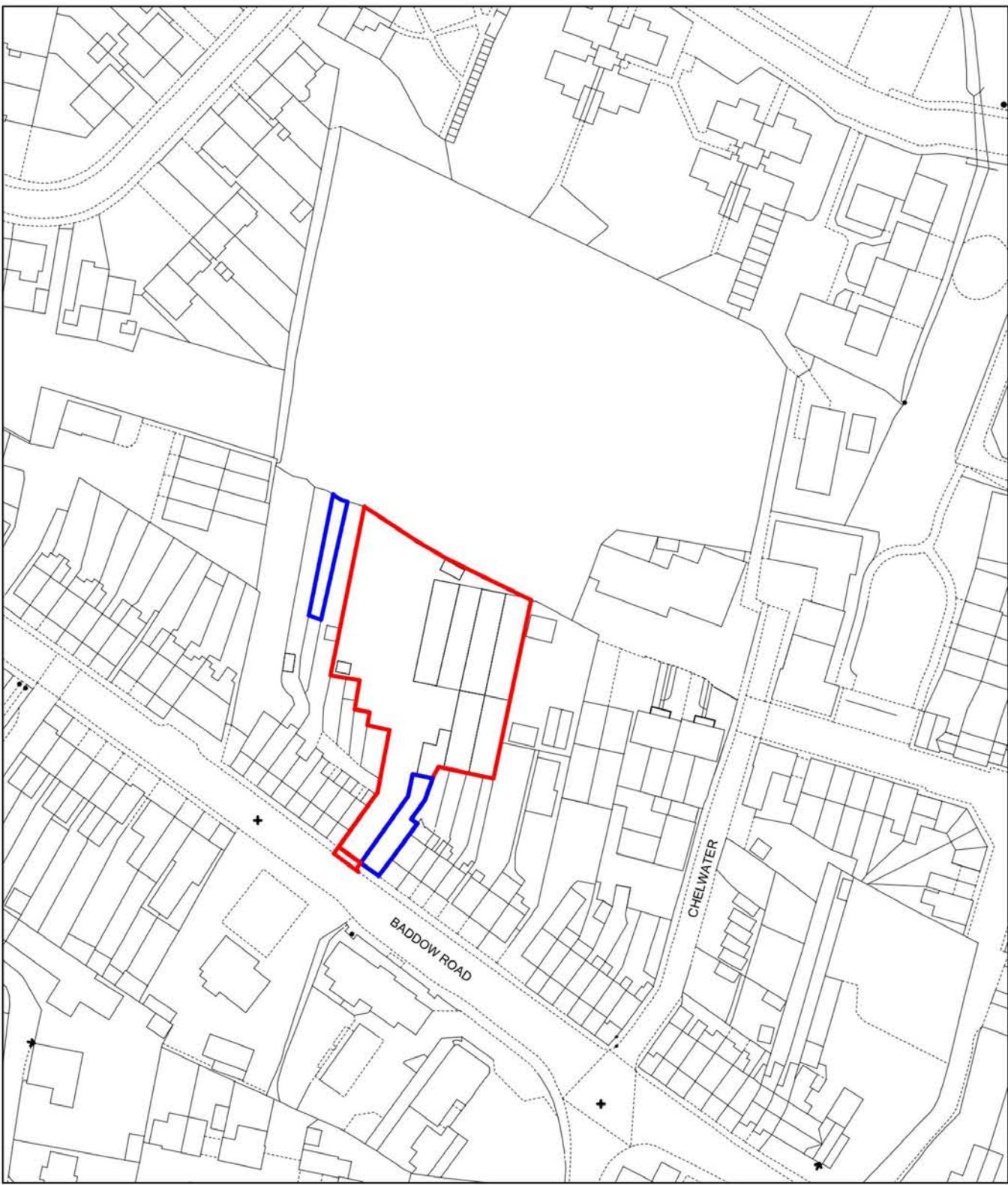
Planning & Development Management
Directorate for Sustainable Communities

PO Box 7544 Civic Centre
 Duke Street, Chelmsford, CM1 1XP

Telephone: 01245 606826



SITE PLAN 1:200



LOCATION PLAN 1:1250

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12.01.22 30.11.21			A	Red Line Extended to Include Dropped Kerb & Lampost Planning Issue	Drawing title		EXISTING SITE & LOCATION PLANS		Drawn By		J. Fisk		
					Project		REDEVELOPMENT OF 275 BADDOW ROAD						
					Address		275 BADDOW ROAD (ROCHESTER HOUSE) GREAT BADDOW, CHELMSFORD ESSEX, CM2 7QA						
					Date		Rev		Description		© copyright		Note
Date		Rev		Description		© copyright		Note		Drawing No.		Revision	
										A522/01		A	



GROUND LEVEL SITE PLAN 1:200



ROOF LEVEL SITE PLAN 1:200

VEHICLE PARKING PROVISION

	No. Spaces		Space 1	Description	Space 2	Description	Space 3	Description
Plot 1	2	3b5p	2.9 x 5.3m	Undercroft Driveway	2.9 x 5.2m	Undercroft Driveway		
Plot 2	2	4b6p	2.9 x 5.5m	Driveway	2.9 x 5.5m	Driveway		
Plot 3	2	4b6p	2.9 x 5.5m	Driveway	2.9 x 5.5m	Driveway		
Plot 4	2	4b6p	2.9 x 5.5m	Carport	2.9 x 5.5m	Carport		
Plot 5	2	4b6p	2.9 x 5.5m	Carport	2.9 x 5.5m	Carport		
Plot 6	3	4b7p	2.9 x 5.5m	Driveway	2.9 x 5.5m	Driveway		
Plot 7	2	5b8p	2.9 x 5.5m	Driveway	2.9 x 5.5m	Driveway		
Plot 8	2	5b8p	2.9 x 5.5m	Driveway	2.9 x 5.5m	Driveway		
Visitor	2	N/A	2.9m x 6m	Parallel Parking Bay	2.9 x 6m	Parallel Parking Bay		
TOTAL	19						2.9 x 5.5m	Driveway (Allocated Visitor)

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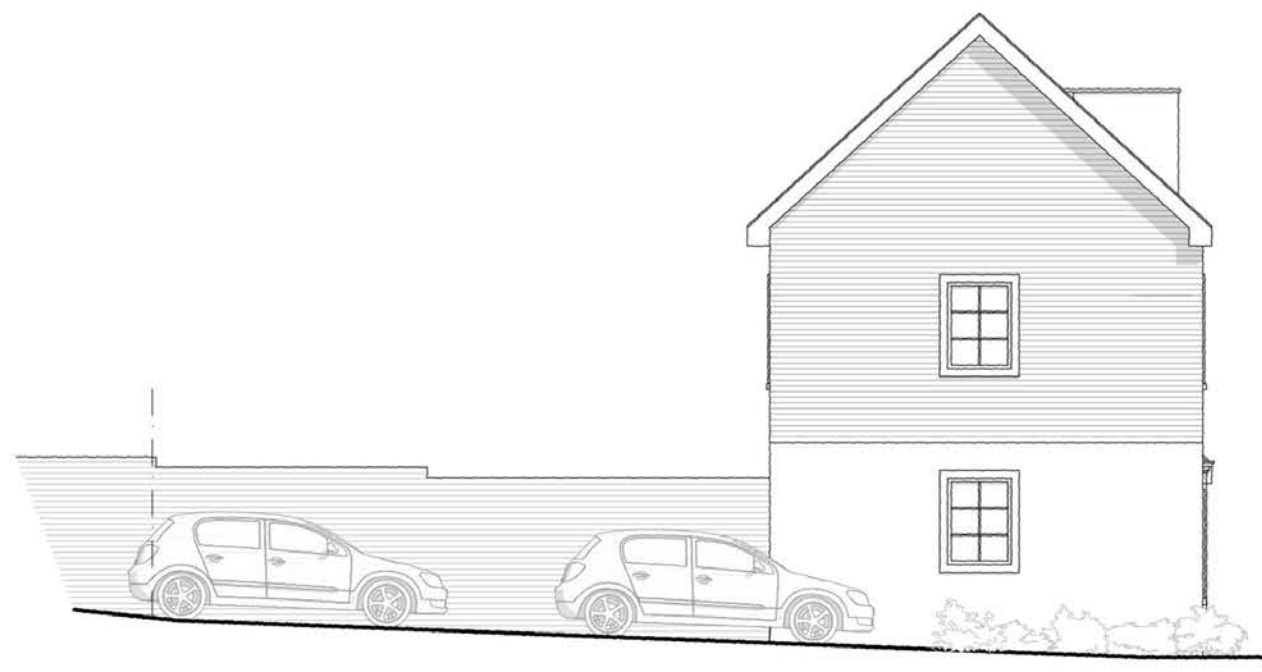
08.01.22	I	Adjustment to 277-283 Exist. Garden Level
12.01.22	H	Extension of Red Line to Include Lampost & Correction of Plot F & G Refs
22.12.21	G	Altered Plots 1,7 & 8 Layout
10.12.21	F	Alts to Layout of Plots 1,7,8 & 9 and Parking Following Highways and Planning Consultation
27.11.21	E	Alterations to Plot 1 & Access
Date	Rev	Description
		© copyright

Drawing title	PROPOSED SITE PLANS
Project	REDEVELOPMENT OF 275 BADDOW ROAD
Address	275 BADDOW ROAD (ROCHESTER HOUSE) GREAT BADDOW, CHELMSFORD ESSEX, CM2 7QA
Note	All Scales relate to A1 paper size

Drawn By	J. Fisk
Drawing No.	A522/03
Revision	I



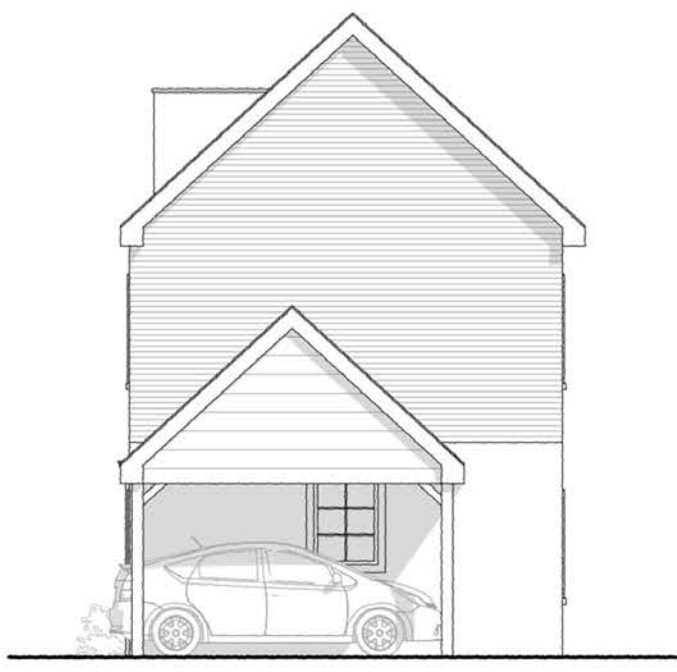
FRONT ELEVATION 1:100



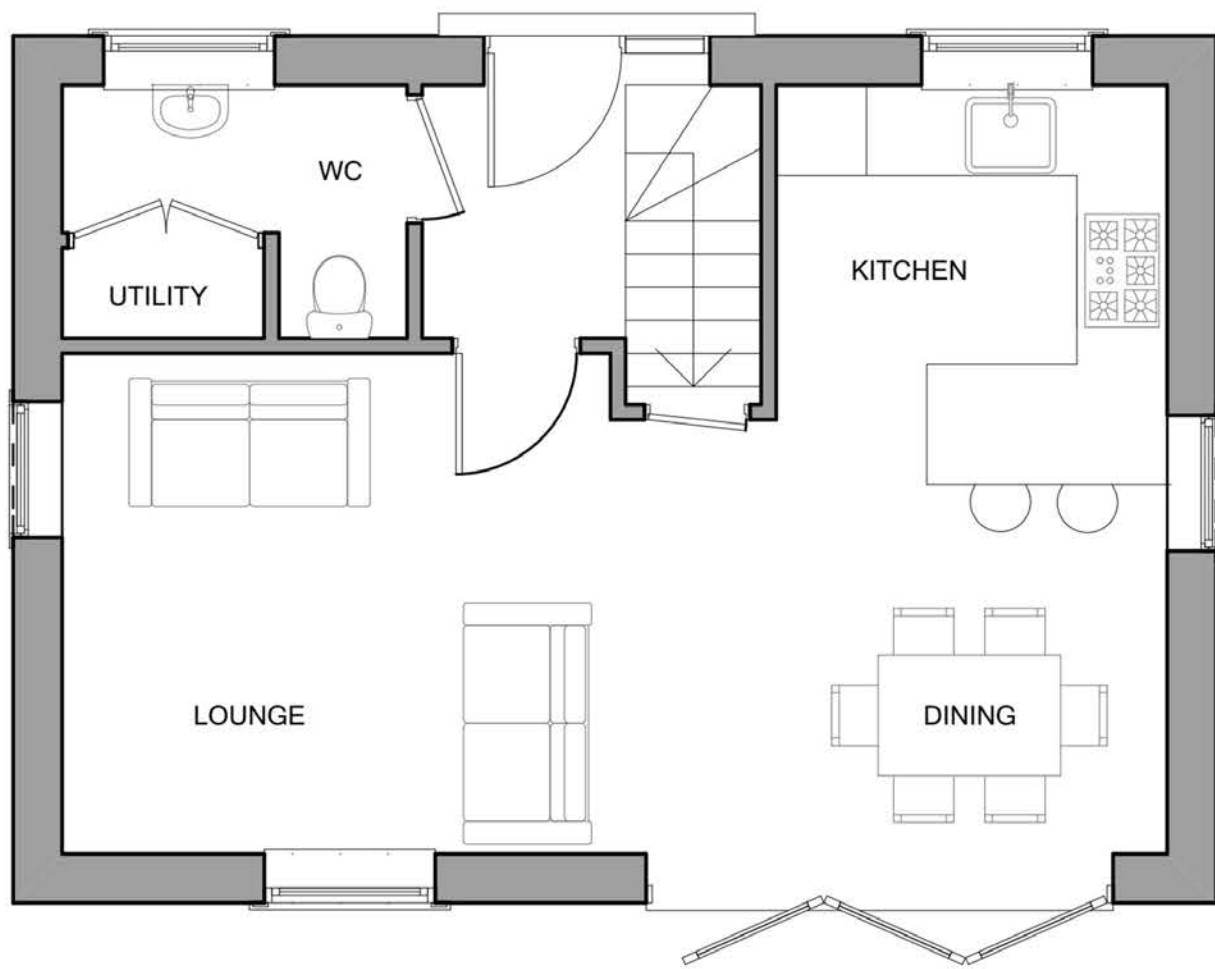
SIDE (EAST) ELEVATION 1:100



REAR ELEVATION 1:100



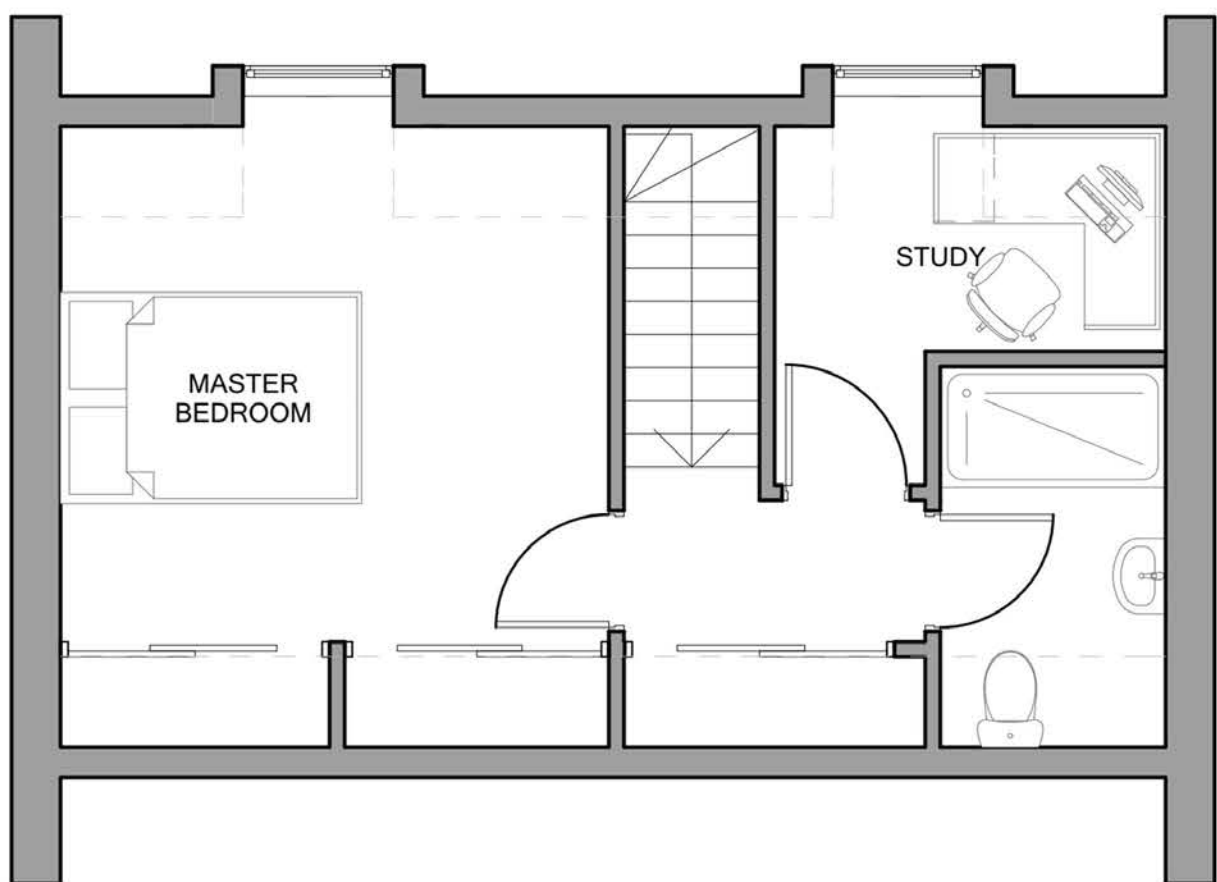
SIDE (WEST) ELEVATION 1:100



GROUND FLOOR PLAN 1:50



FIRST FLOOR PLAN 1:50

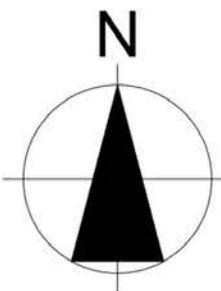
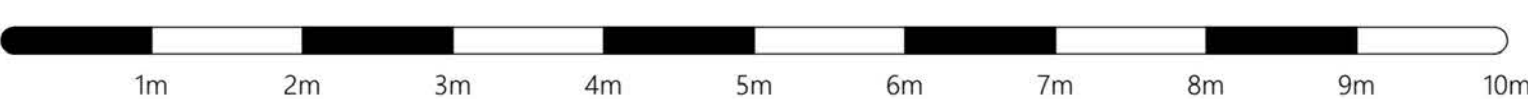


SECOND FLOOR PLAN 1:50


1:100 Scale Bar

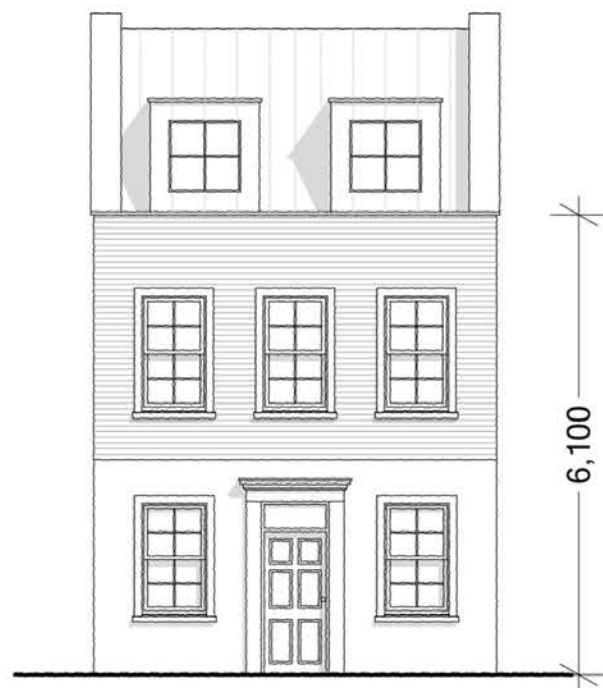


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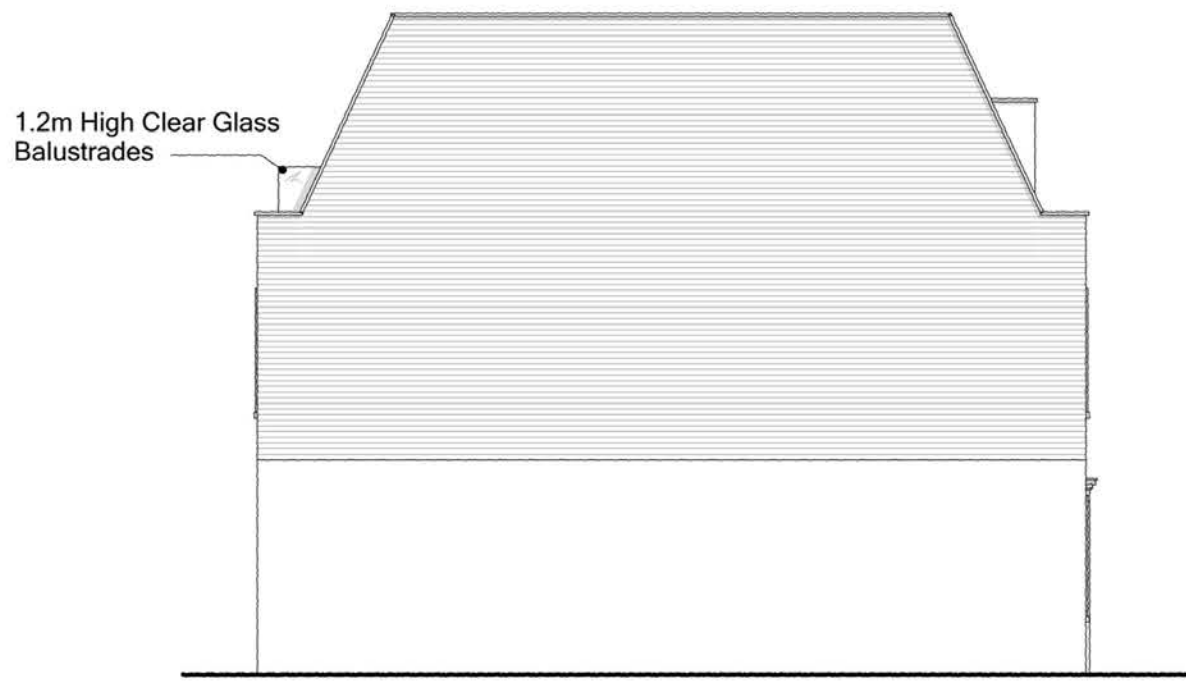


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21.12.21 18.12.21 16.12.21		B A	Alterations to Floorplans & Elev. Alterations to Massing, Layout & Elev. Draft Issue Note: Previous Drawing Ref A522/05 Type A Superseded	Drawing title PLOT TYPE A 3b5p	Drawn By J. Fisk
Date	Rev	Description	© copyright	Project REDEVELOPMENT OF 275 BADDOW ROAD Address 275 BADDOW ROAD (ROCHESTER HOUSE) GREAT BADDOW, CHELMSFORD ESSEX, CM2 7QA	
Note All Scales relate to A1 paper size				Drawing No. A522/05	Revision B



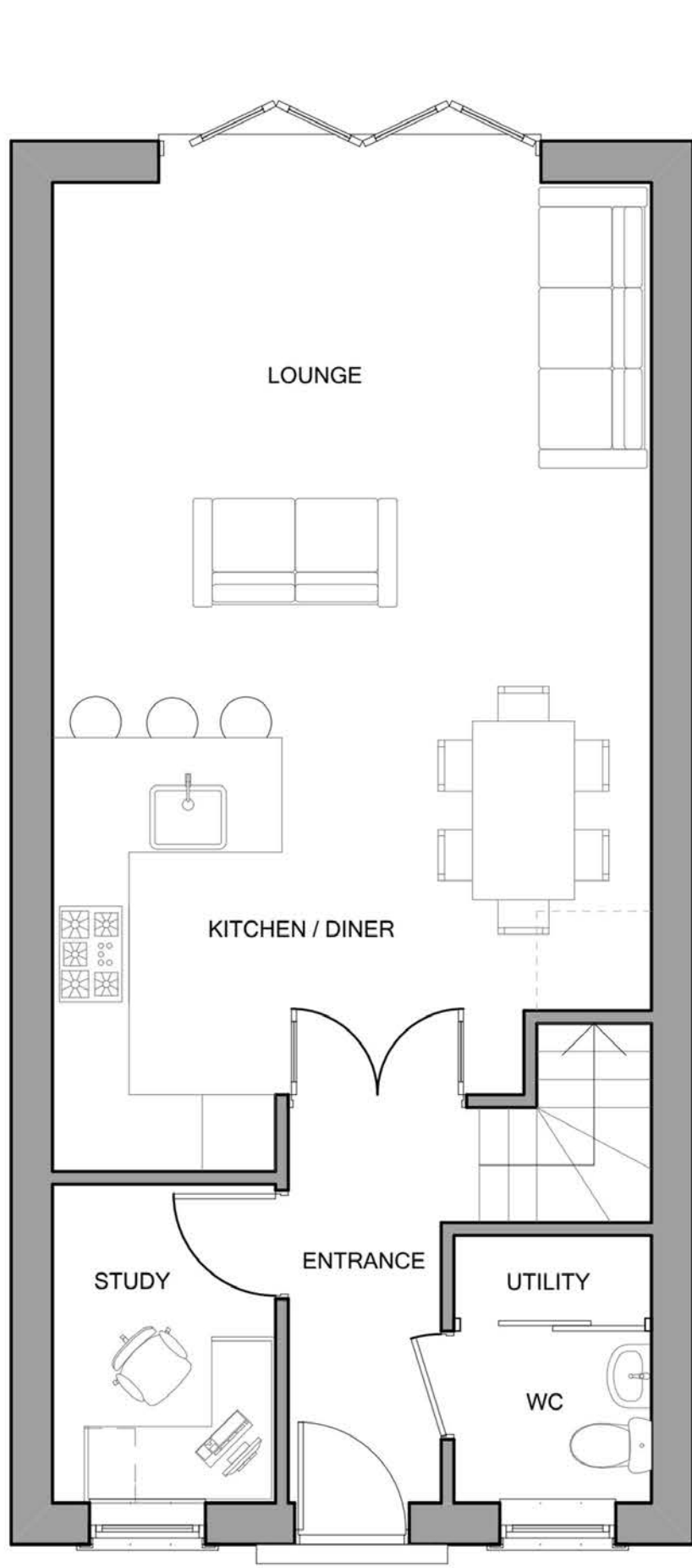
TYPE B FRONT ELEVATION 1:100



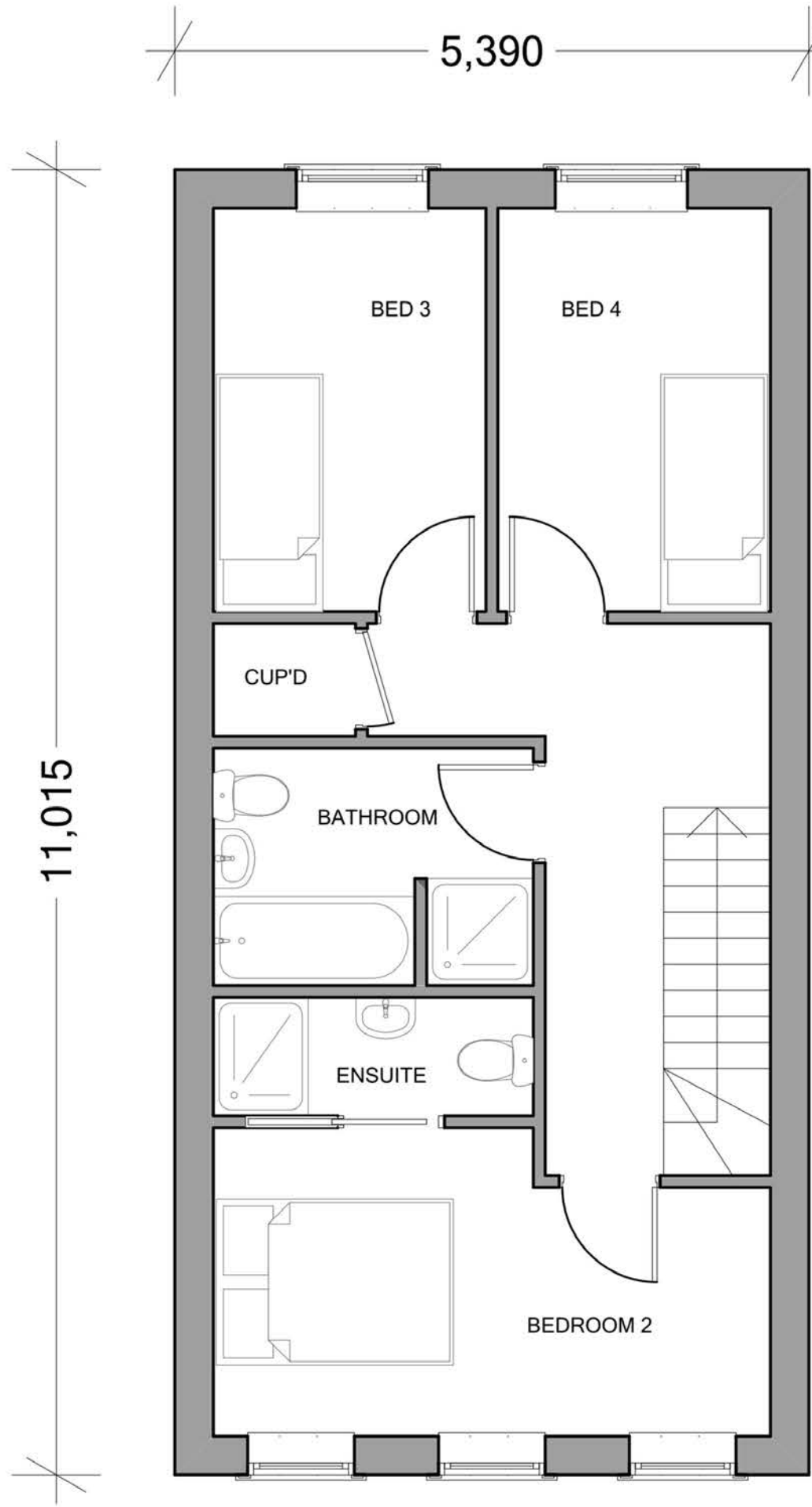
TYPE B SIDE ELEVATION 1:100



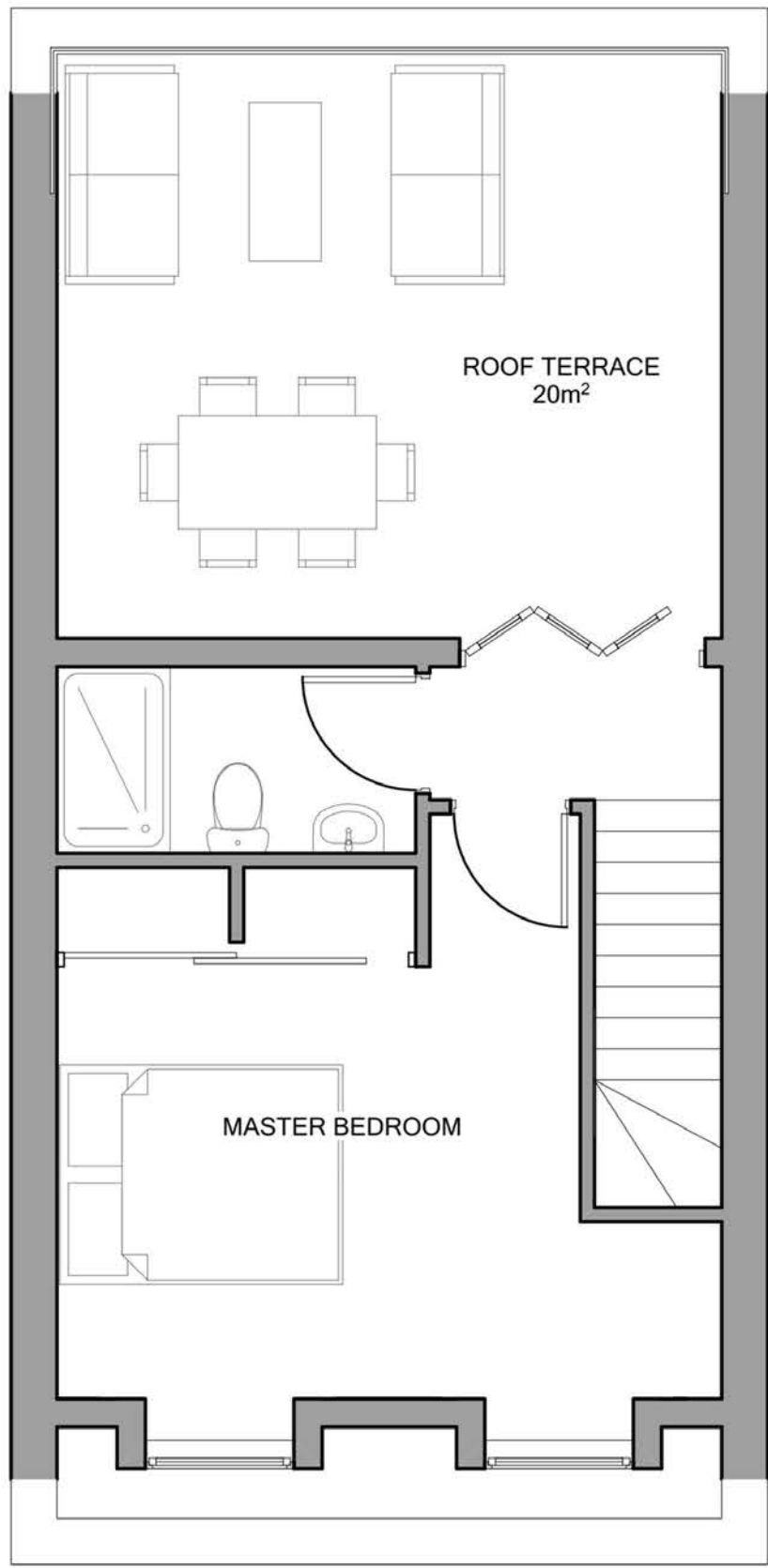
TYPE B REAR ELEVATION 1:100



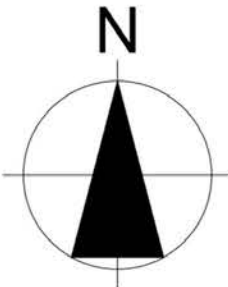
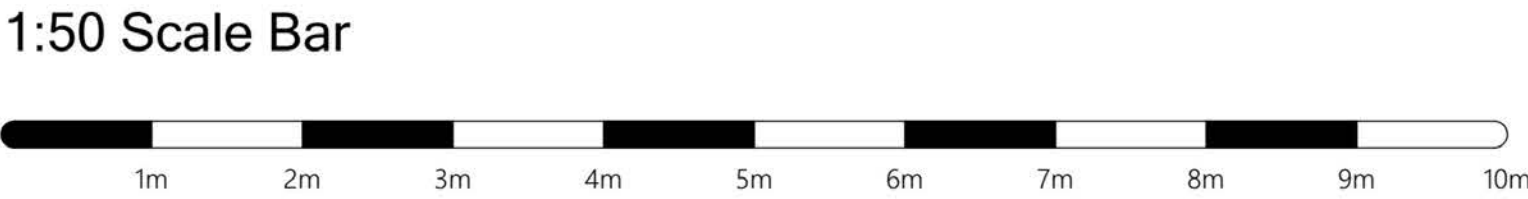
GROUND FLOOR PLAN 1:50




FIRST FLOOR PLAN 1:50



SECOND FLOOR PLAN 1:50

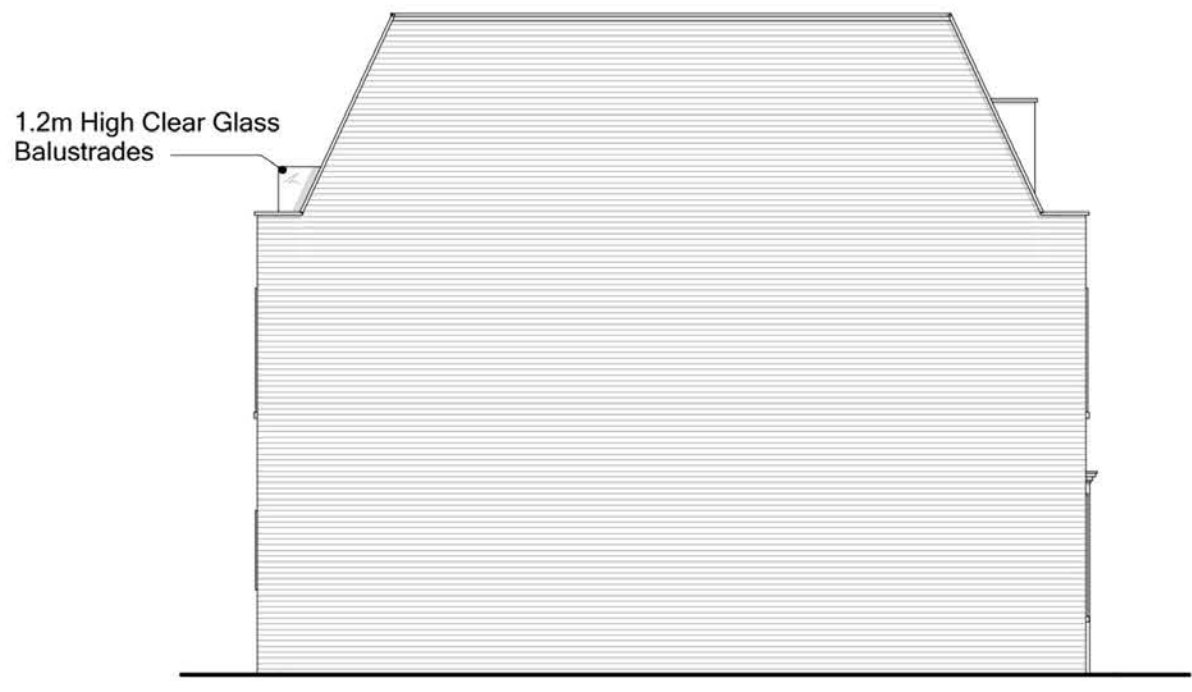


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10.12.21 25.10.21 08.10.21 28.09.21 31.08.21	D C B A	Minor Alts to Elev. Alterations to Floorplans & Elevations Alterations to Floorplans & Elevations Change in Floorplans, Elevations Added First Draft	© copyright	Drawing title	PLOT TYPE B 4b6p	Drawn By	J. Fisk
				Project	REDEVELOPMENT OF 275 BADDOW ROAD		Revision D
				Address	275 BADDOW ROAD (ROCHESTER HOUSE) GREAT BADDOW, CHELMSFORD ESSEX, CM2 7QA		
				Note	All Scales relate to A1 paper size		



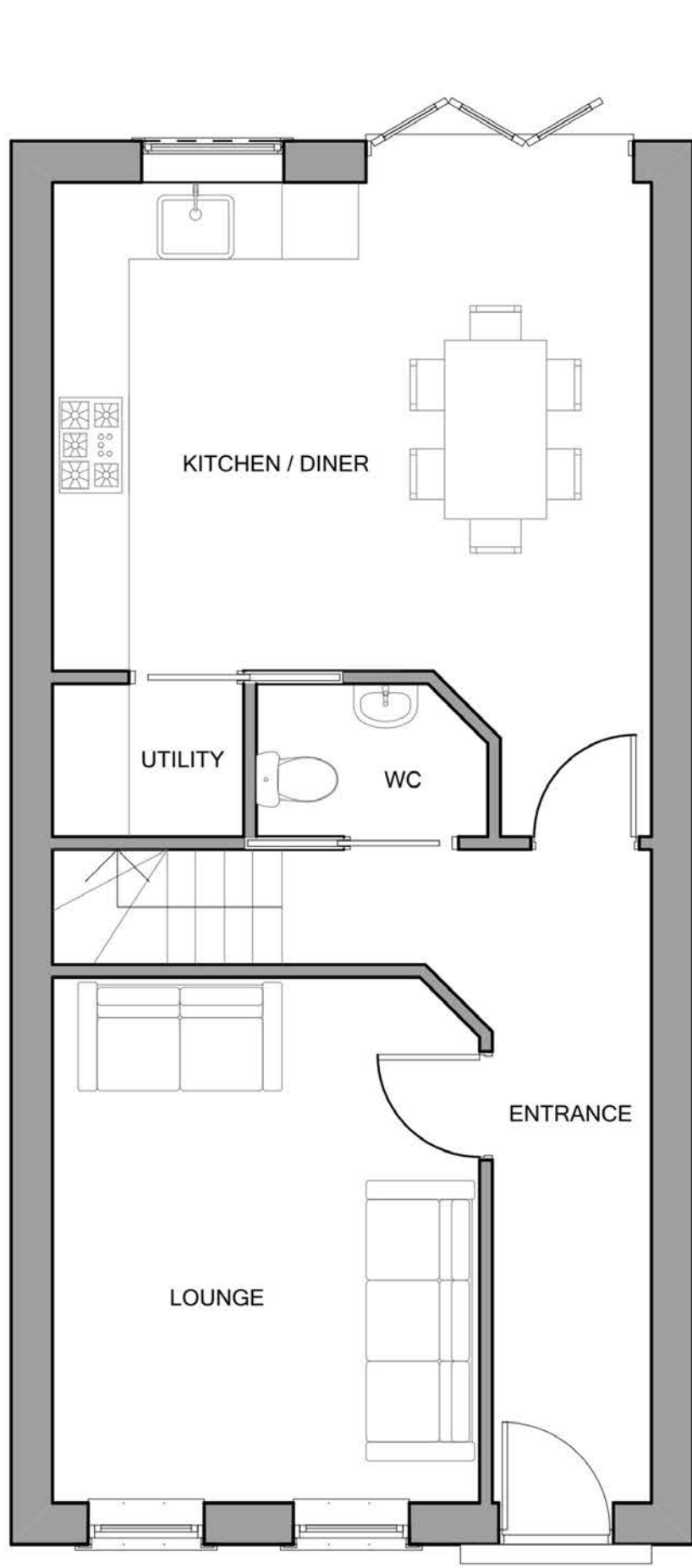
TYPE C FRONT ELEVATION 1:100



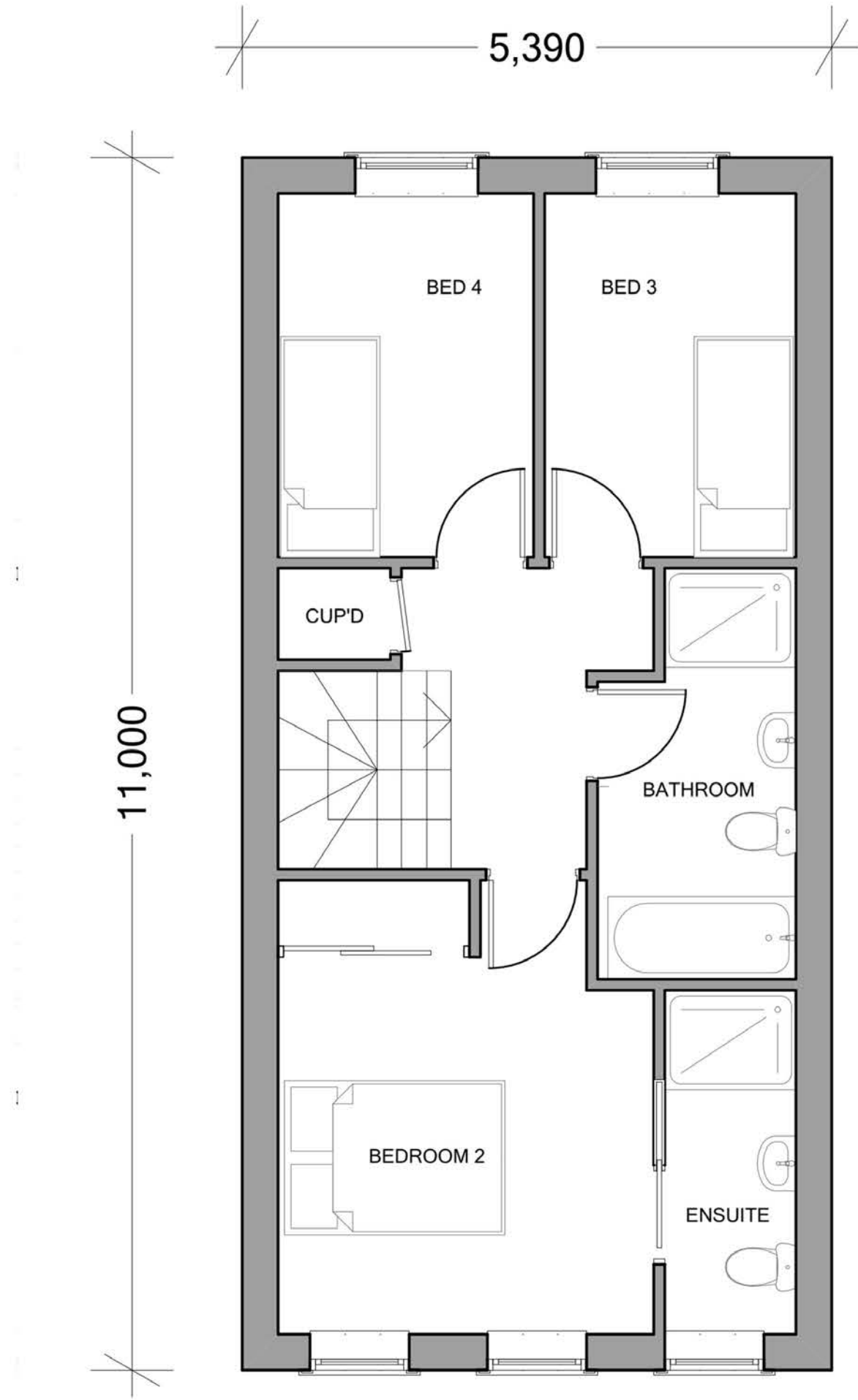
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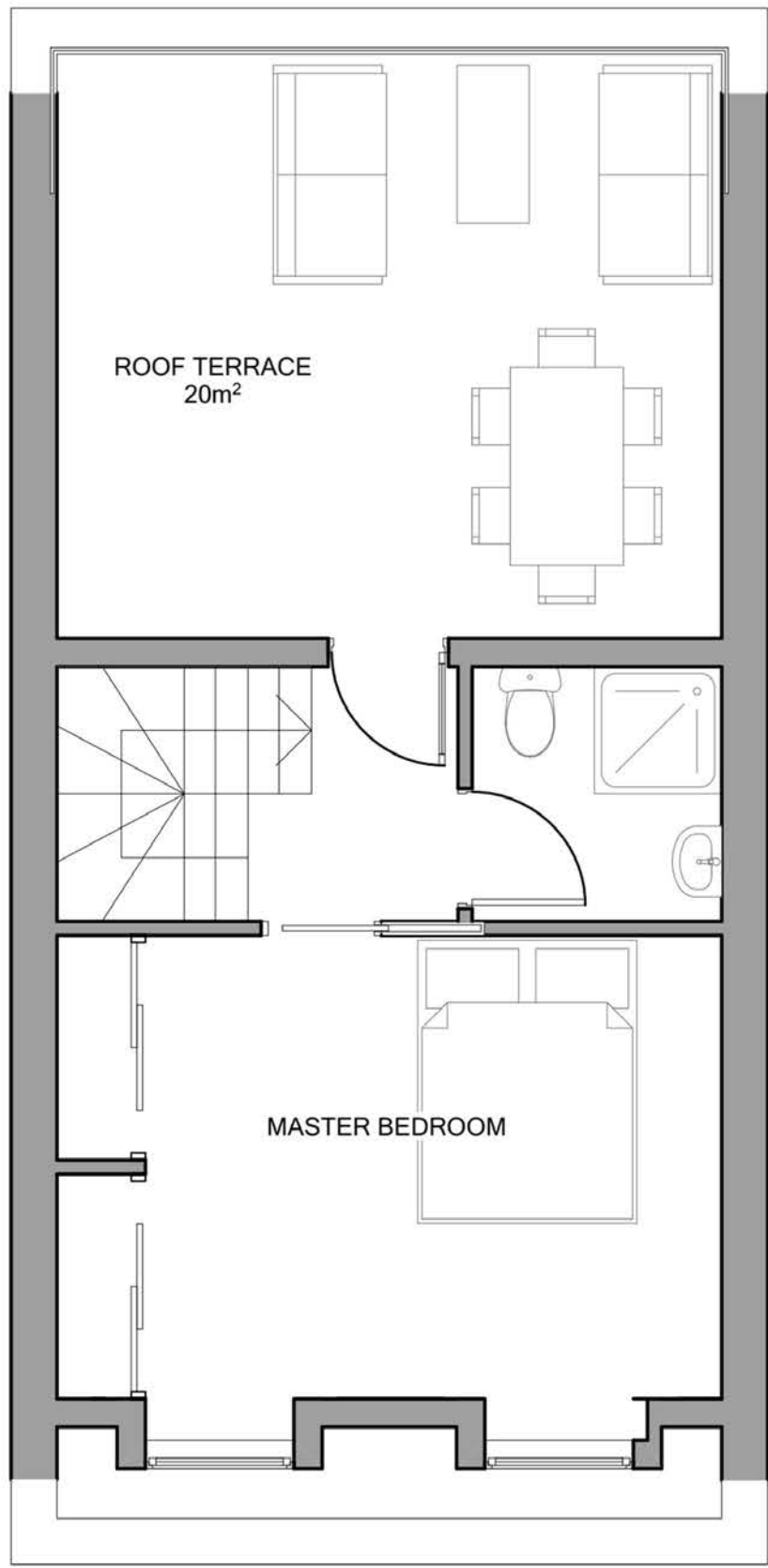
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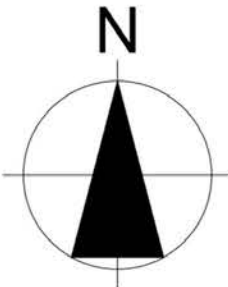
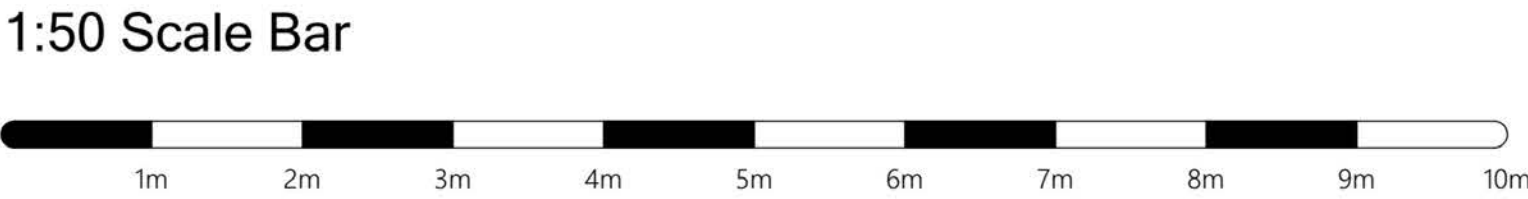
GROUND FLOOR PLAN 1:50




FIRST FLOOR PLAN 1:50

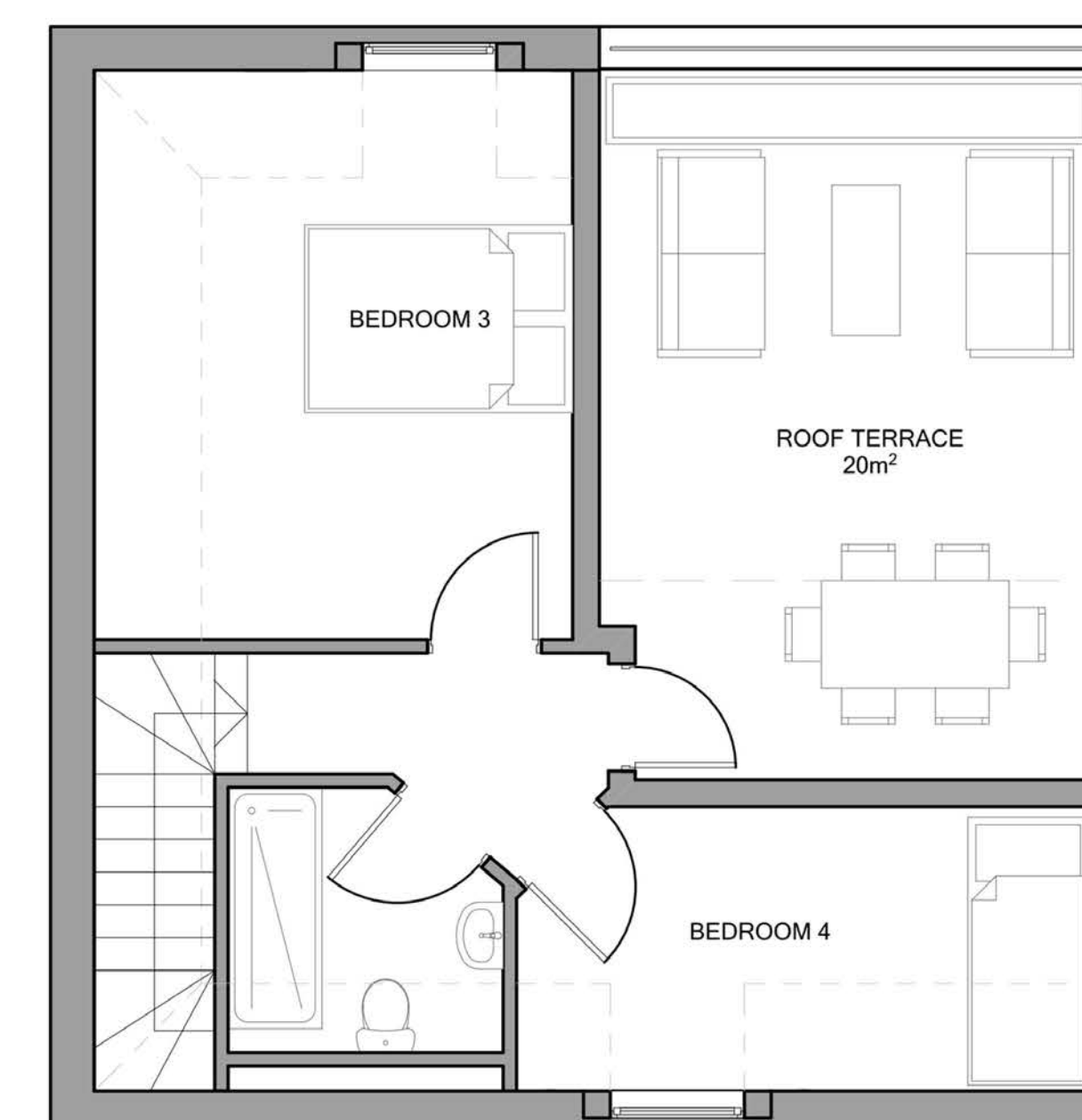
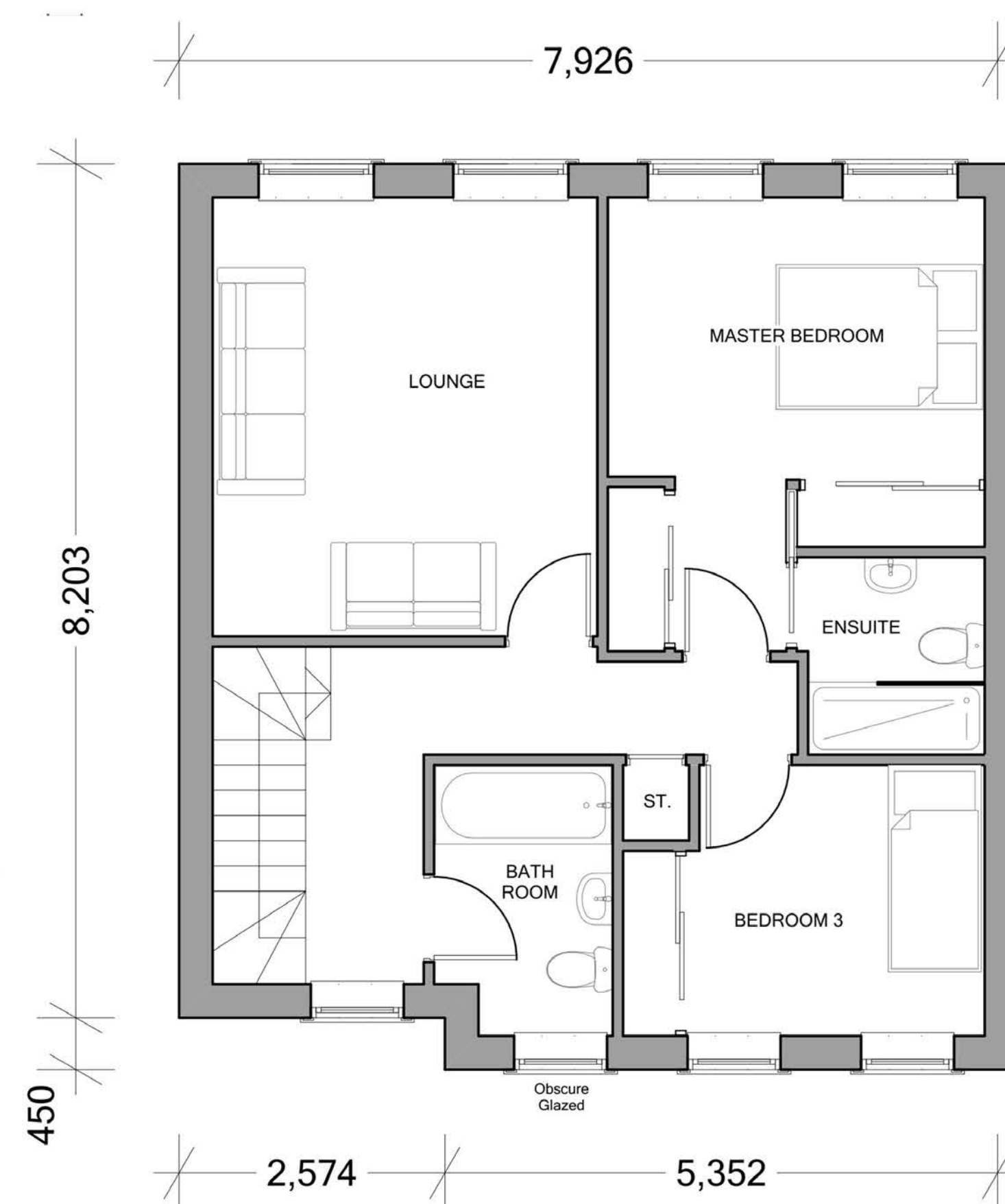
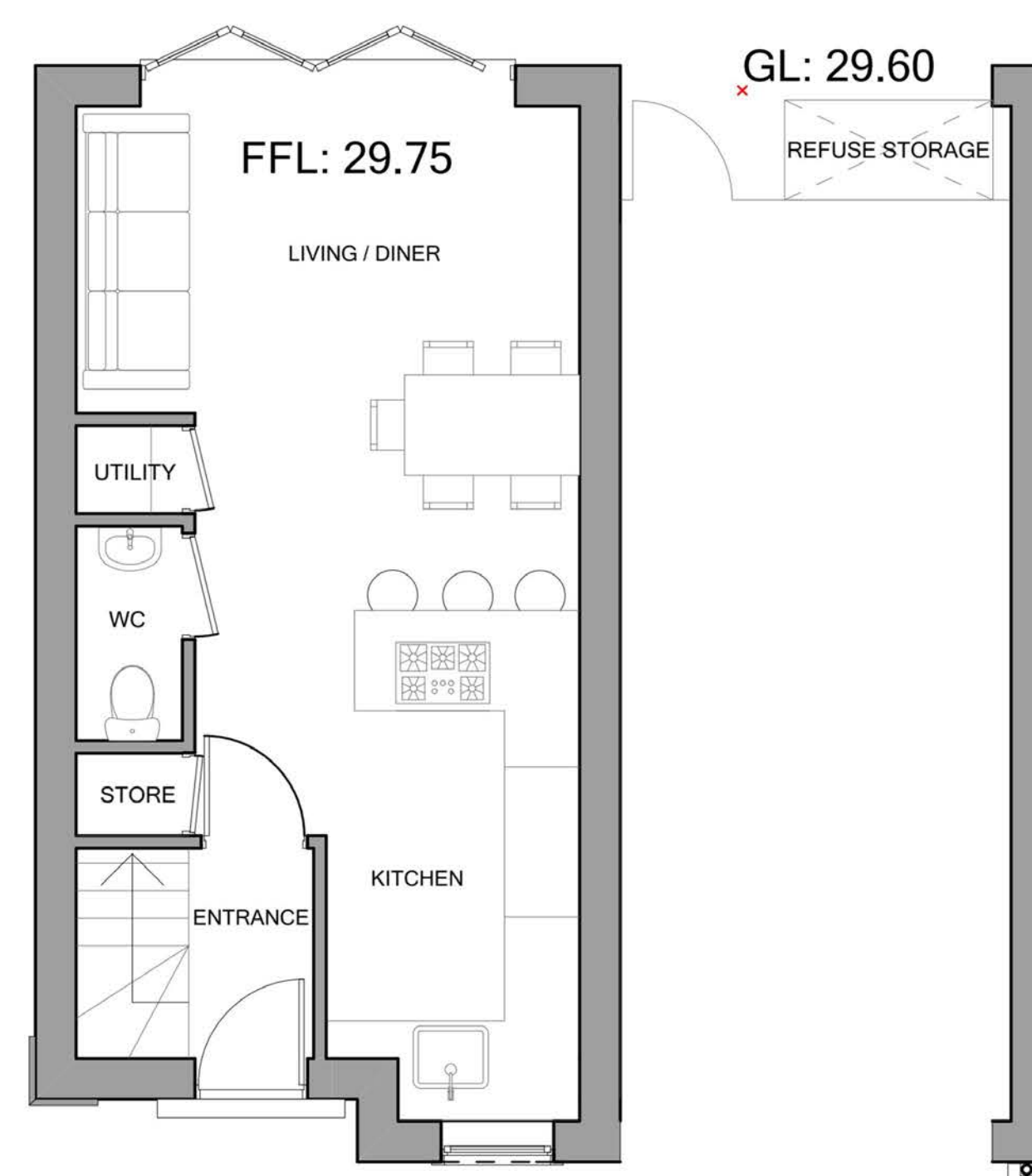
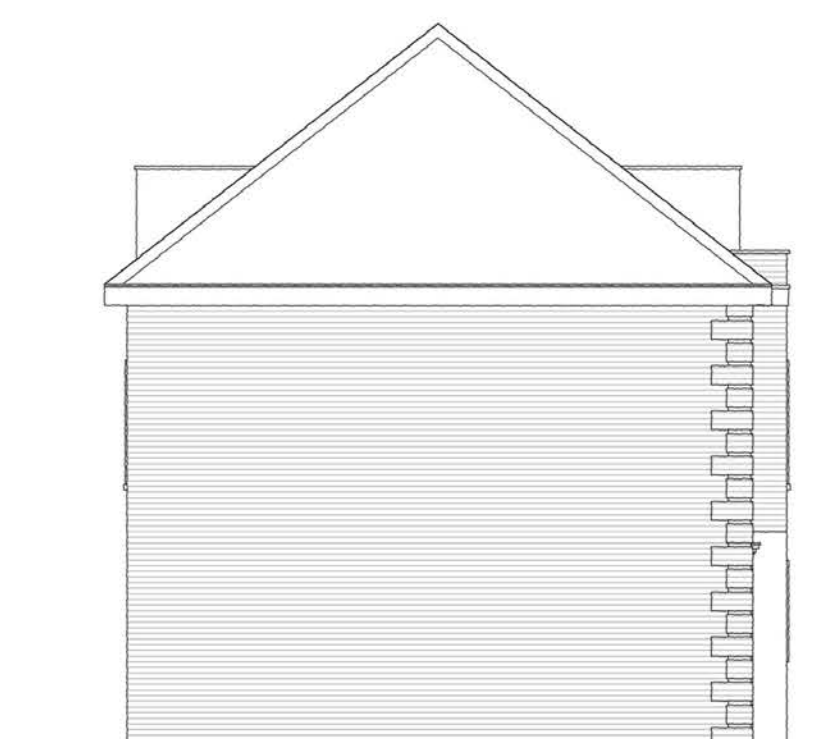


SECOND FLOOR PLAN 1:50

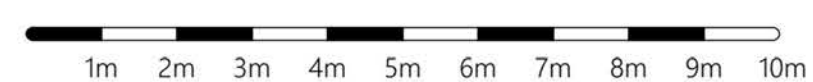


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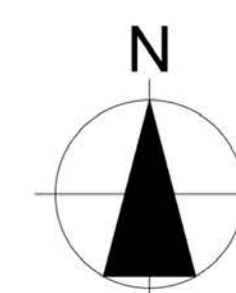
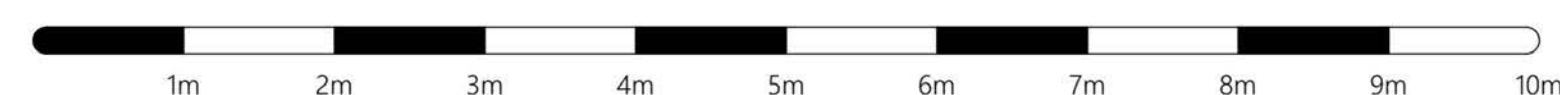
09.12.21 25.10.21 08.10.21 28.09.21 31.08.21	D C B A	Minor Alts to Elev. Alterations to Floorplans & Elevations Alterations to Floorplans & Elevations Change in Floorplans, Elevations Added First Draft	© copyright	Drawing title	PLOT TYPE C 4b6p	Drawn By	J. Fisk
				Project	REDEVELOPMENT OF 275 BADDOW ROAD		Revision
				Address	275 BADDOW ROAD (ROCHESTER HOUSE) GREAT BADDOW, CHELMSFORD ESSEX, CM2 7QA		
				Note	All Scales relate to A1 paper size		
Date	Rev	Description				Drawing No.	Revision
						A522/07	D



1:100 Scale Bar




1:50 Scale Bar



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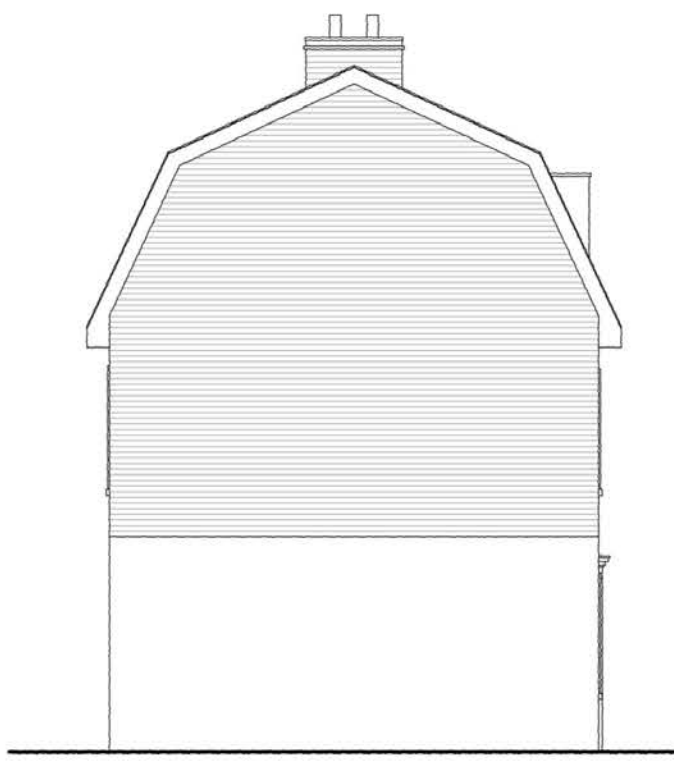
DO NOT SCALE FROM THIS DRAWING. Dimensions are stated for guidance only.

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			Drawing title	PLOT TYPE D 4b6p		Drawn By	J. Fisk	
09.12.21	E	Reduction in Eave & Ridge Height & First & Second Floor Layout	Project	REDEVELOPMENT OF 275 BADDOW ROAD				
26.10.21	D	Alterations to Floorplans & Elevations	Address	275 BADDOW ROAD (ROCHESTER HOUSE)				
15.10.21	C	Revised Second Floor & Terrace Layout		GREAT BADDOW, CHELMSFORD				
07.10.21	A	Alterations to Floorplans & Elevations		ESSEX, CM2 7QA				
28.09.21	A	Change in Floorplans, Elevations Added First Draft						
31.08.21	Rev	© copyright	Note	All Scales relate to A1 paper size		Drawing No.	Revision	
						A522/08	E	



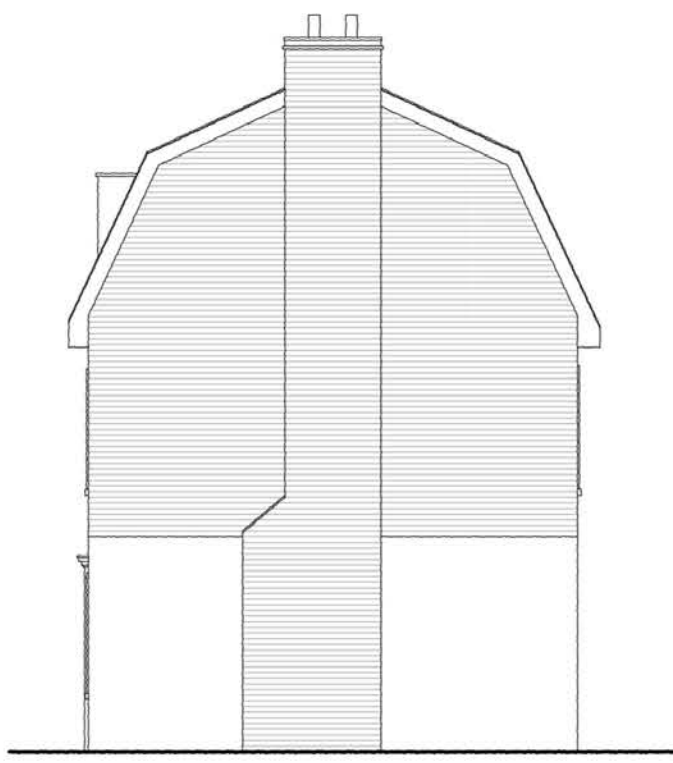
TYPE E FRONT ELEVATION 1:100



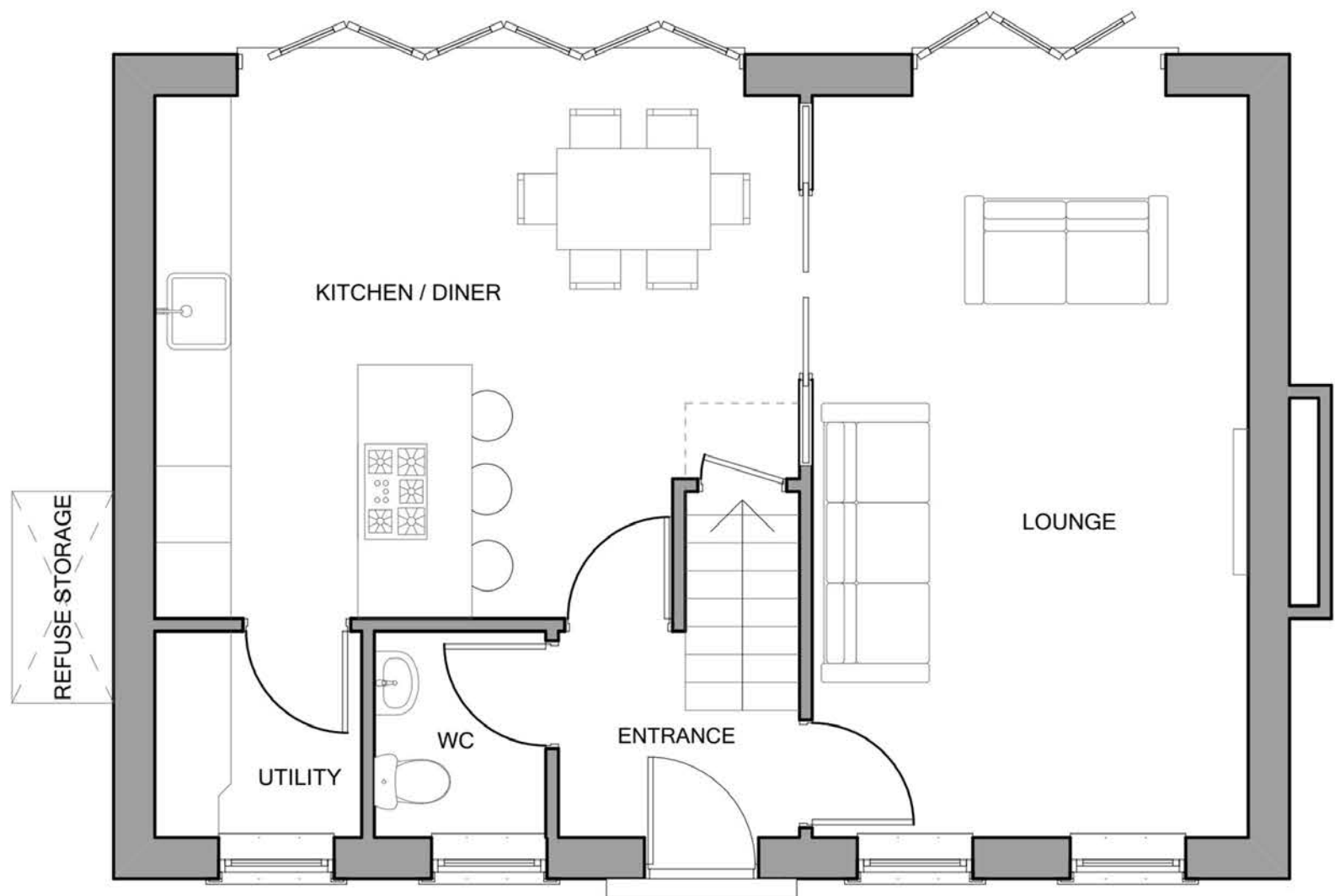
TYPE E SIDE ELEVATION 1:100



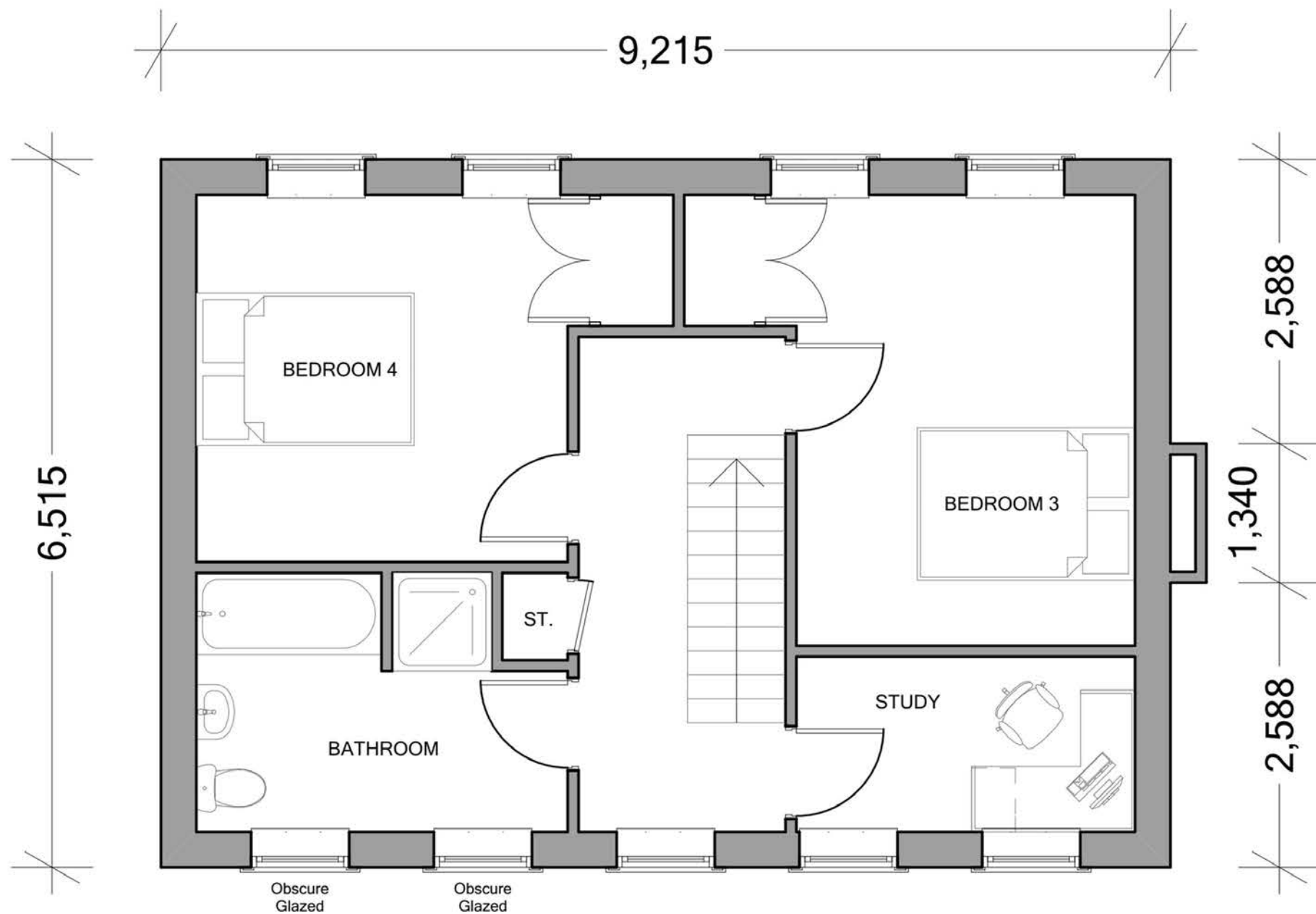
TYPE E REAR ELEVATION 1:100



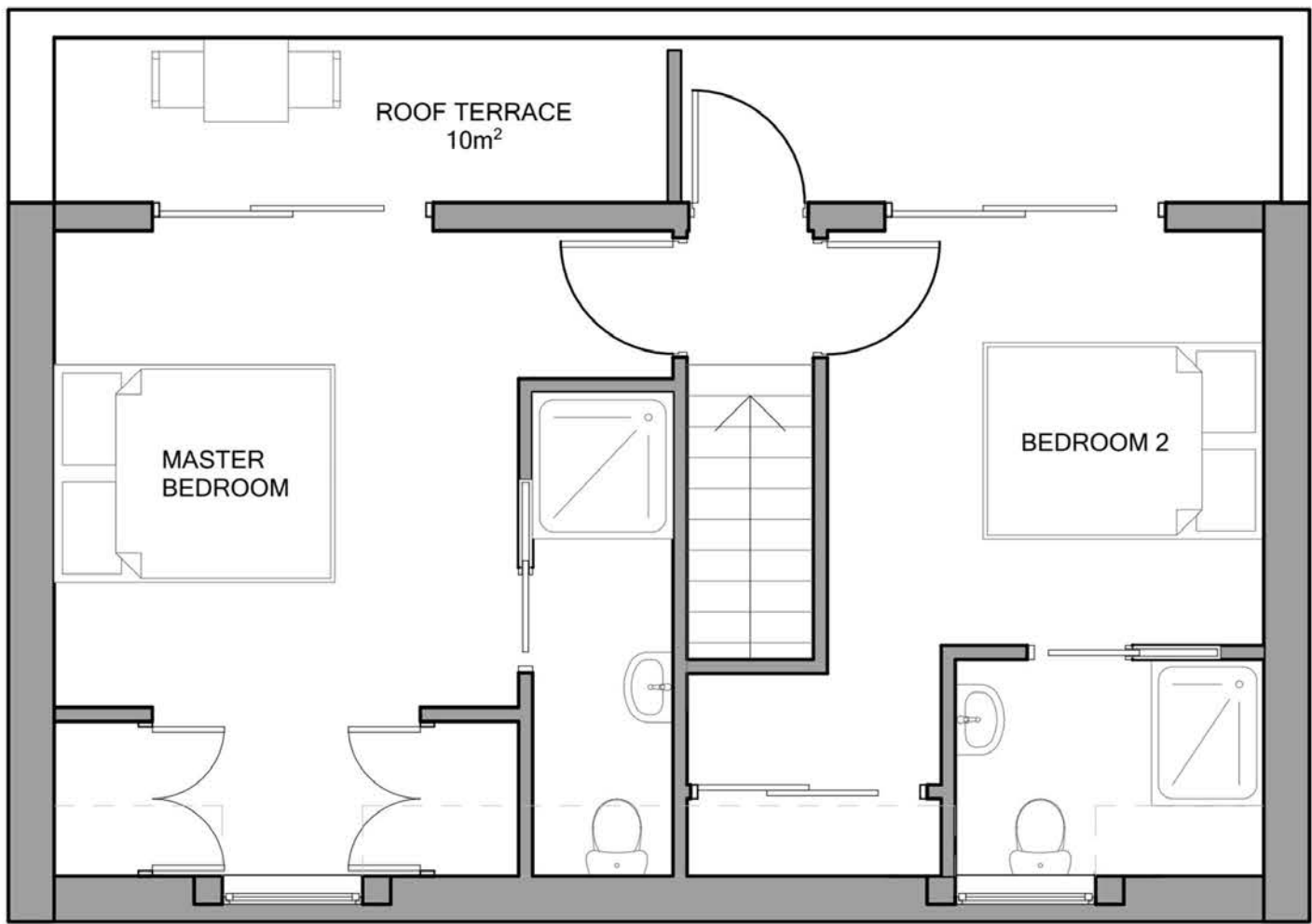
TYPE E SIDE ELEVATION 1:100



GROUND FLOOR PLAN 1:50



FIRST FLOOR PLAN 1:50

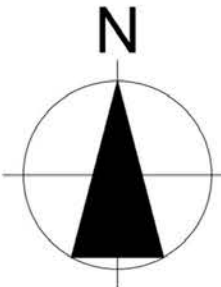
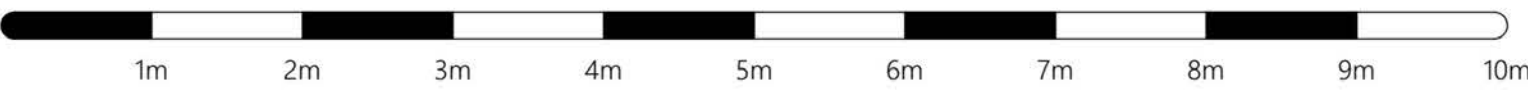


SECOND FLOOR PLAN 1:50


1:100 Scale Bar



1:50 Scale Bar



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02.12.21	D	Alterations to First & Second Floorplans	Drawing title	PLOT TYPE E 4b8p	Drawn By	J. Fisk
27.10.21	C	Alterations to Floorplans & Elevations	Project	REDEVELOPMENT OF 275 BADDOW ROAD		Revision D
13.10.21	B	Alterations to Floorplans & Elevations	Address	275 BADDOW ROAD (ROCHESTER HOUSE)		
27.09.21	A	Change in Floorplans, Elevations Added		GREAT BADDOW, CHELMSFORD		
31.08.21	A	First Draft		ESSEX, CM2 7QA		
Date	Rev	Description	© copyright		Note	All Scales relate to A1 paper size



FRONT ELEVATION 1:100



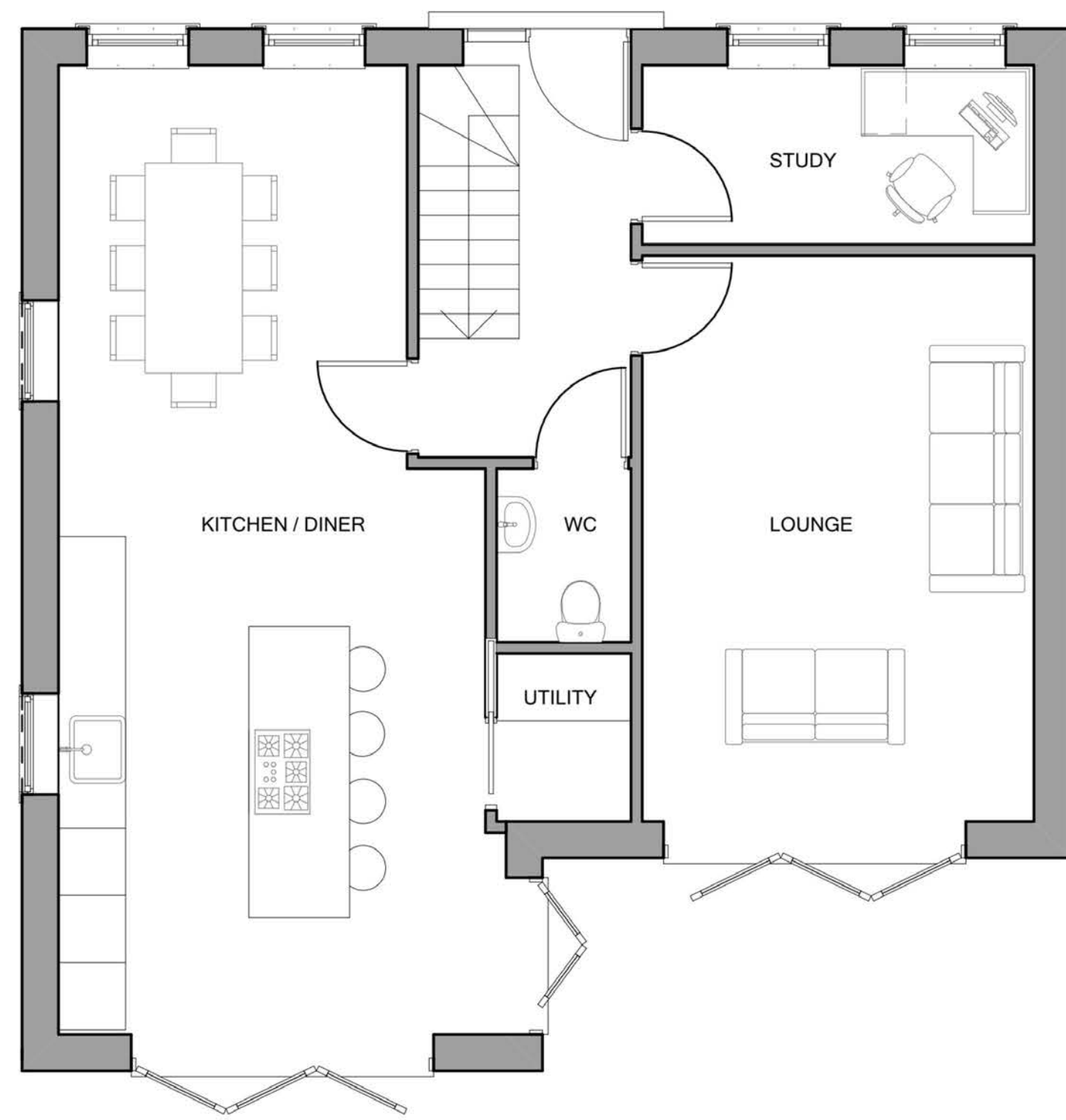
SIDE (WEST) ELEVATION 1:100



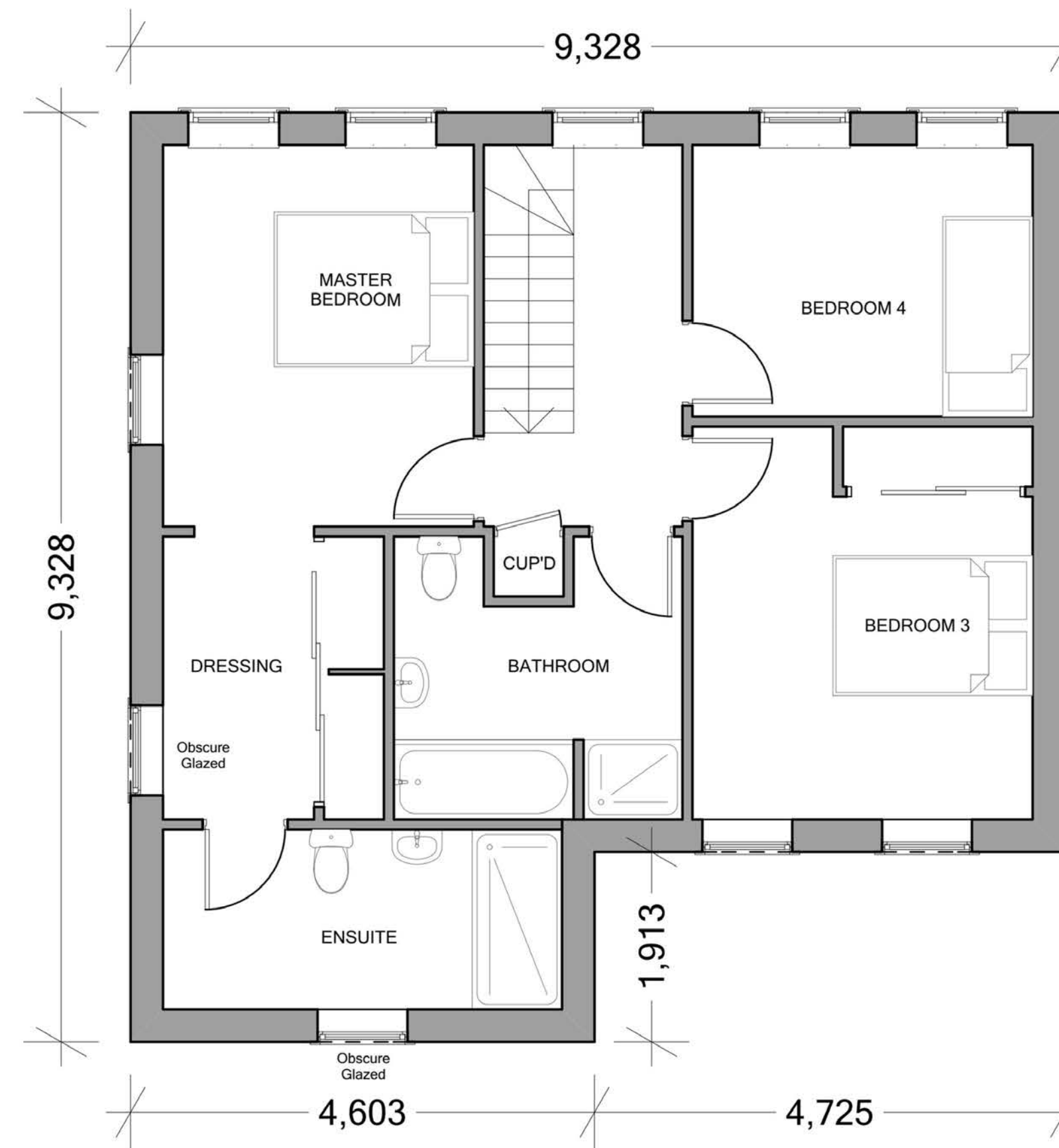
REAR ELEVATION 1:100



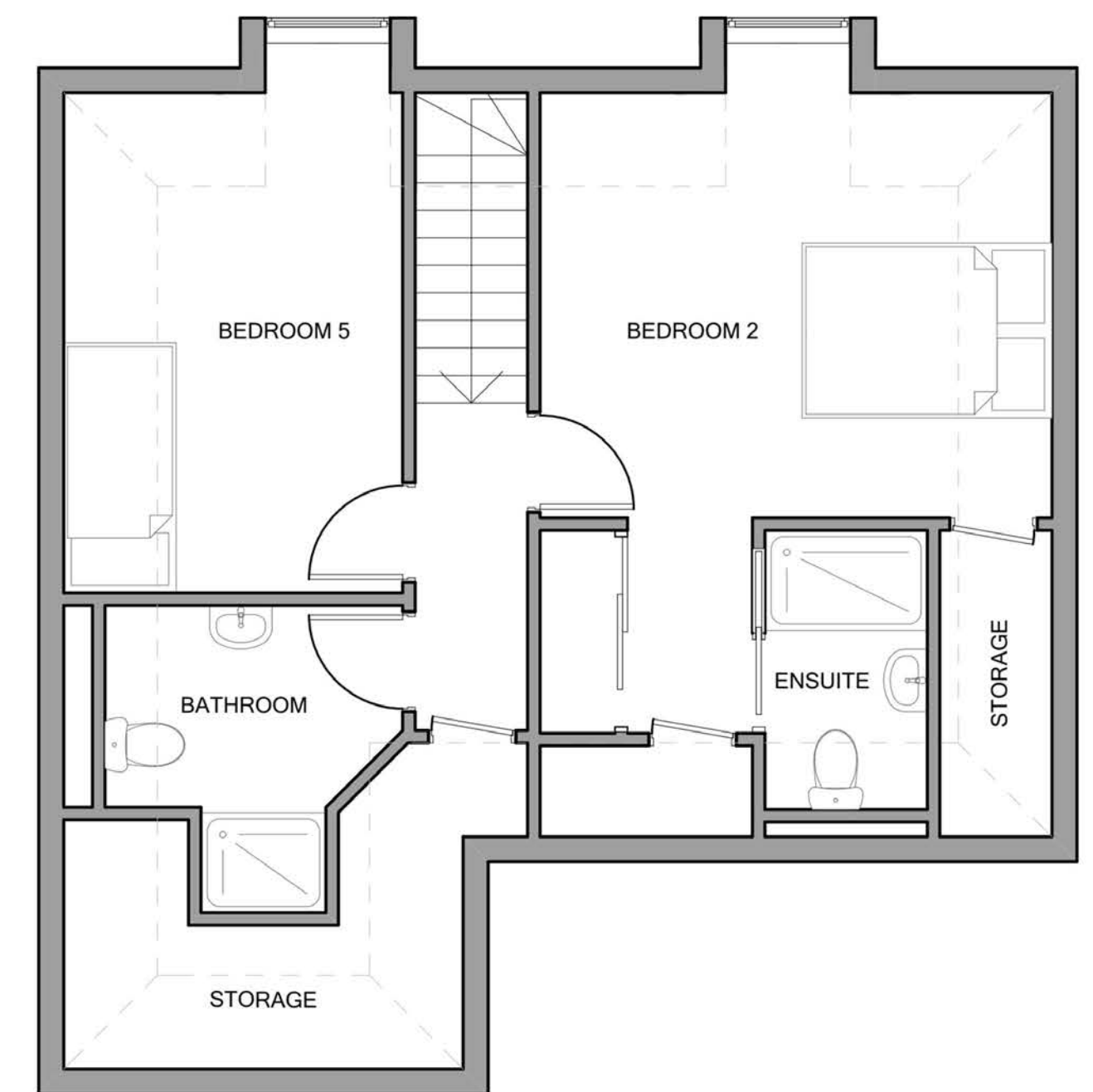
SIDE (EAST) ELEVATION 1:100



GROUND FLOOR PLAN 1:50

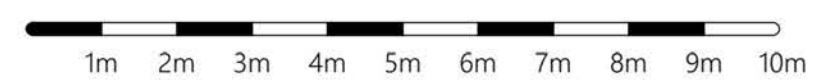


FIRST FLOOR PLAN 1:50

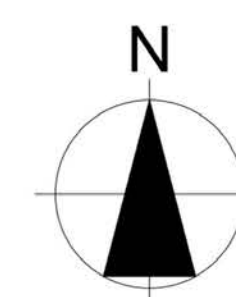
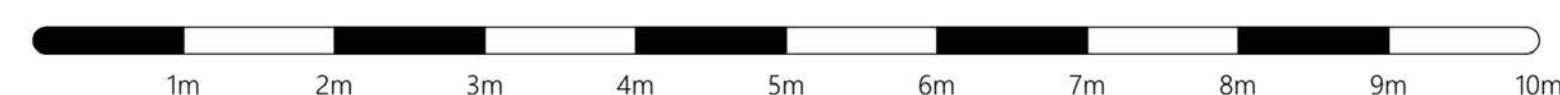


SECOND FLOOR PLAN 1:50


1:100 Scale Bar

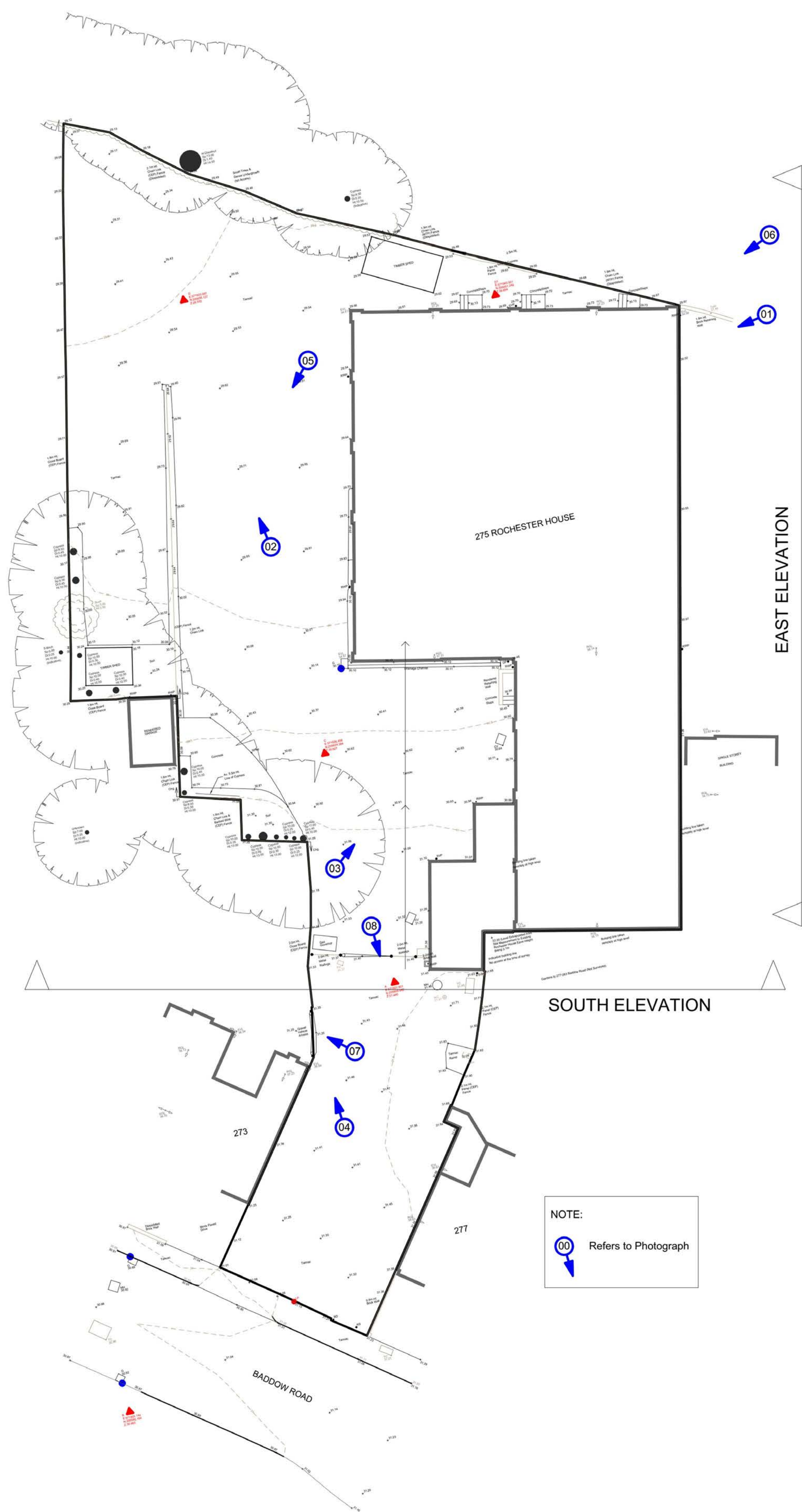


1:50 Scale Bar



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as in ver be se. d. ity, of ng not	18.12.21 16.12.21 14.12.21	B A	Alterations to Floorplans & Elev. Alterations to Massing, Layout & Elev. Draft Issue Note: Previous Drawing Ref A522/10 Type F & G Superseded	Drawing title PLOT TYPE F 5b8p		Drawn By J. Fisk	
				Project	REDEVELOPMENT OF 275 BADDOW ROAD		
				Address	275 BADDOW ROAD (ROCHESTER HOUSE) GREAT BADDOW, CHELMSFORD ESSEX, CM2 7QA		
Date	Rev		© copyright	Note	All Scales relate to A1 paper size	Drawing No. A522/10	Revision B



TOPOGRAPHICAL SURVEY 1:200



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



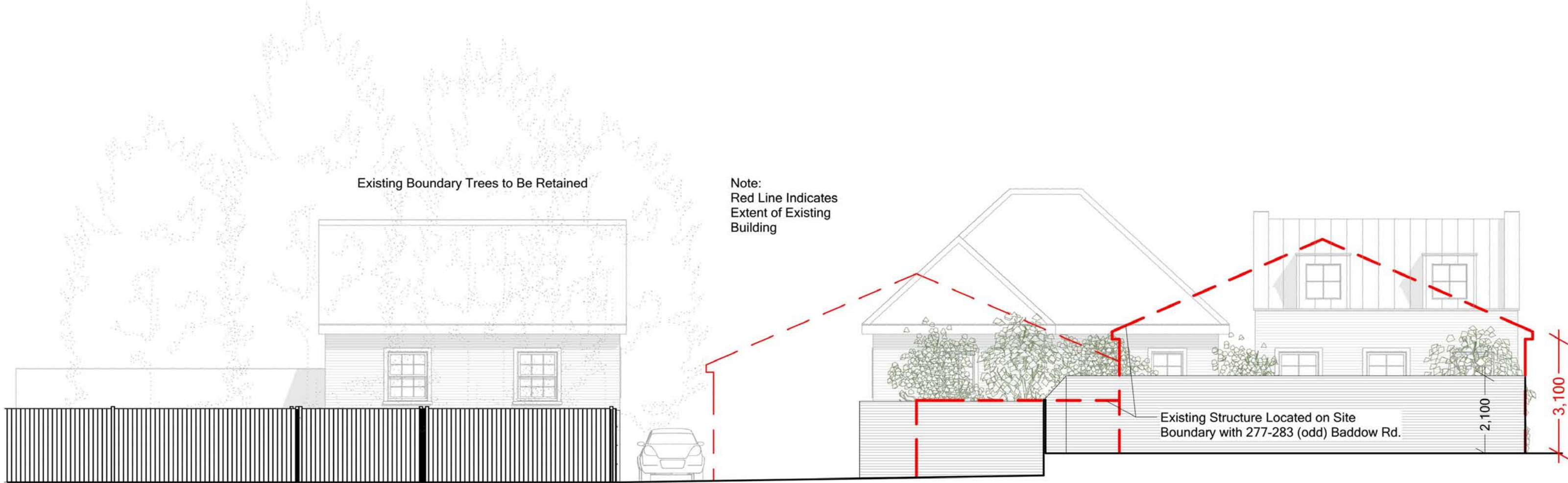
Photograph 6



Photograph 7

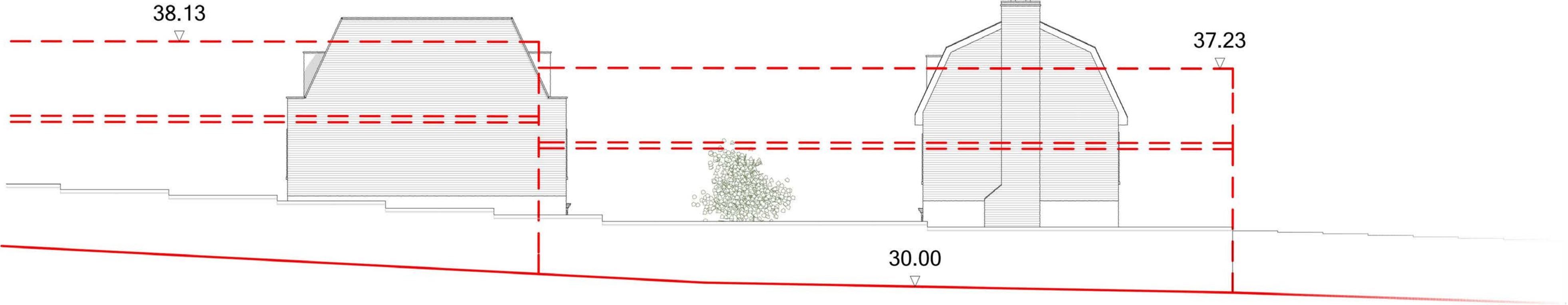


Photograph 8



SOUTH ELEVATION EXISTING & PROPOSED OVERLAY

1:100



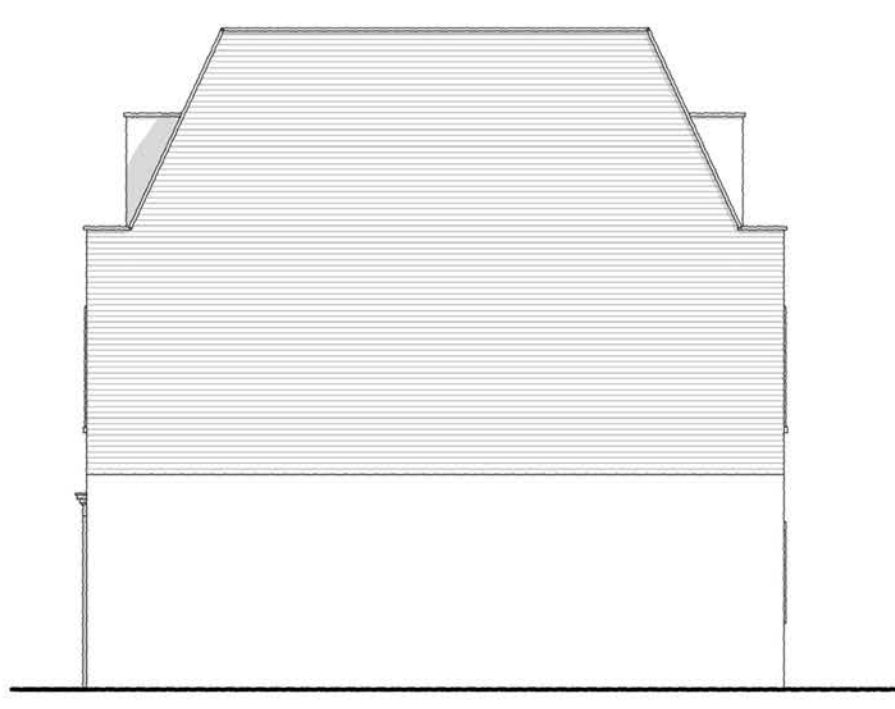
EAST STREET EXISTING & PROPOSED OVERLAY

1:100

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08.03.22		B		Amendment to 277-283 Baddow Rd		Project REDEVELOPMENT OF 275 BADDOW ROAD	
24.12.21		A		Garden Levels		Address 275 BADDOW ROAD (ROCHESTER HOUSE)	
23.11.21				Updated - Planning Issue		GREAT BADDOW, CHELMSFORD	
				First Issue		ESSEX, CM2 7QA	
Date		Rev		Description		Note All Scales relate to A1 paper size	
				© copyright		Drawing No. A522/12	
						Revision B	



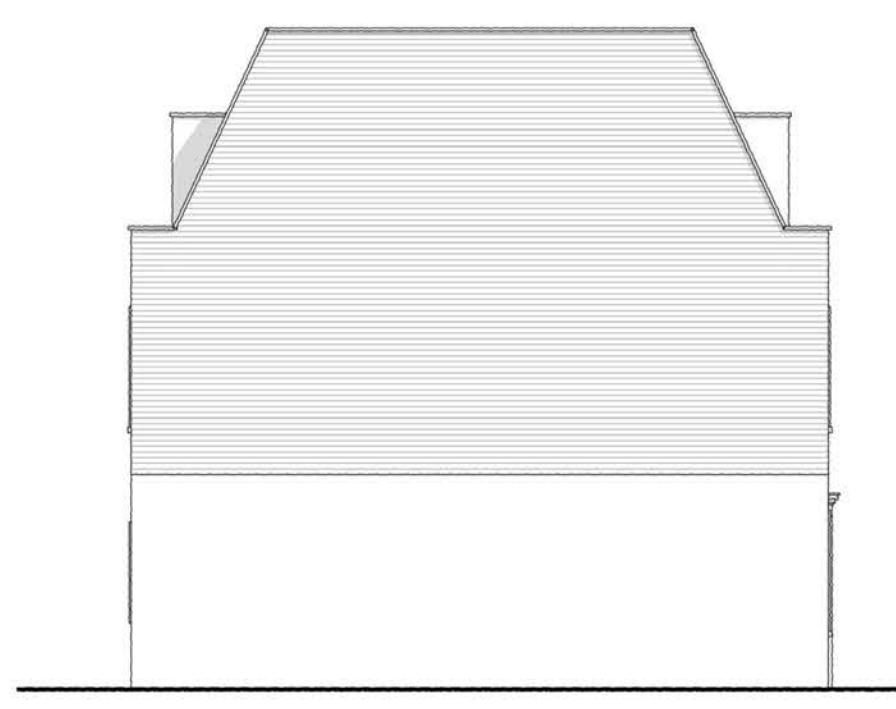
FRONT ELEVATION 1:100



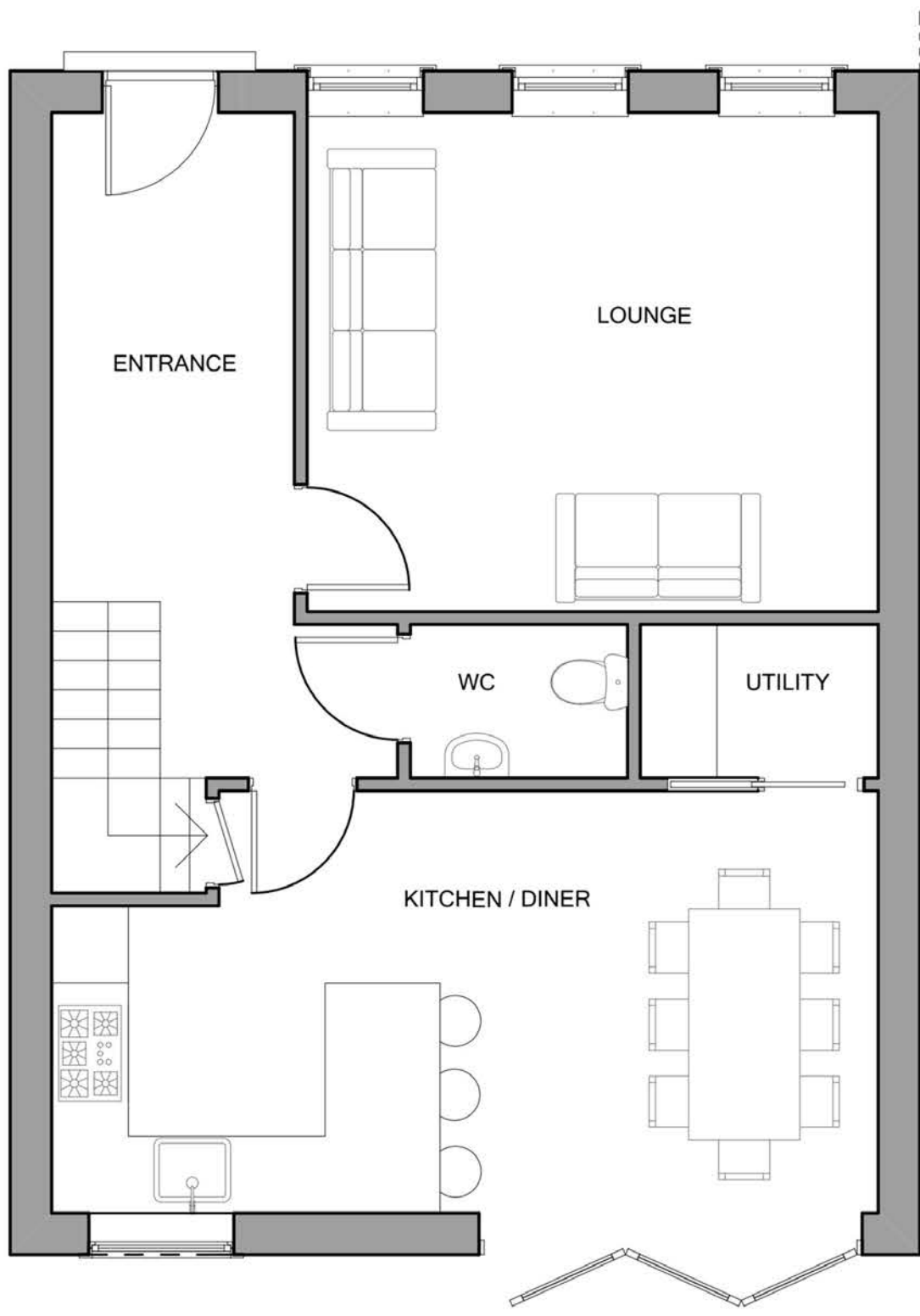
SIDE (WEST) ELEVATION 1:100



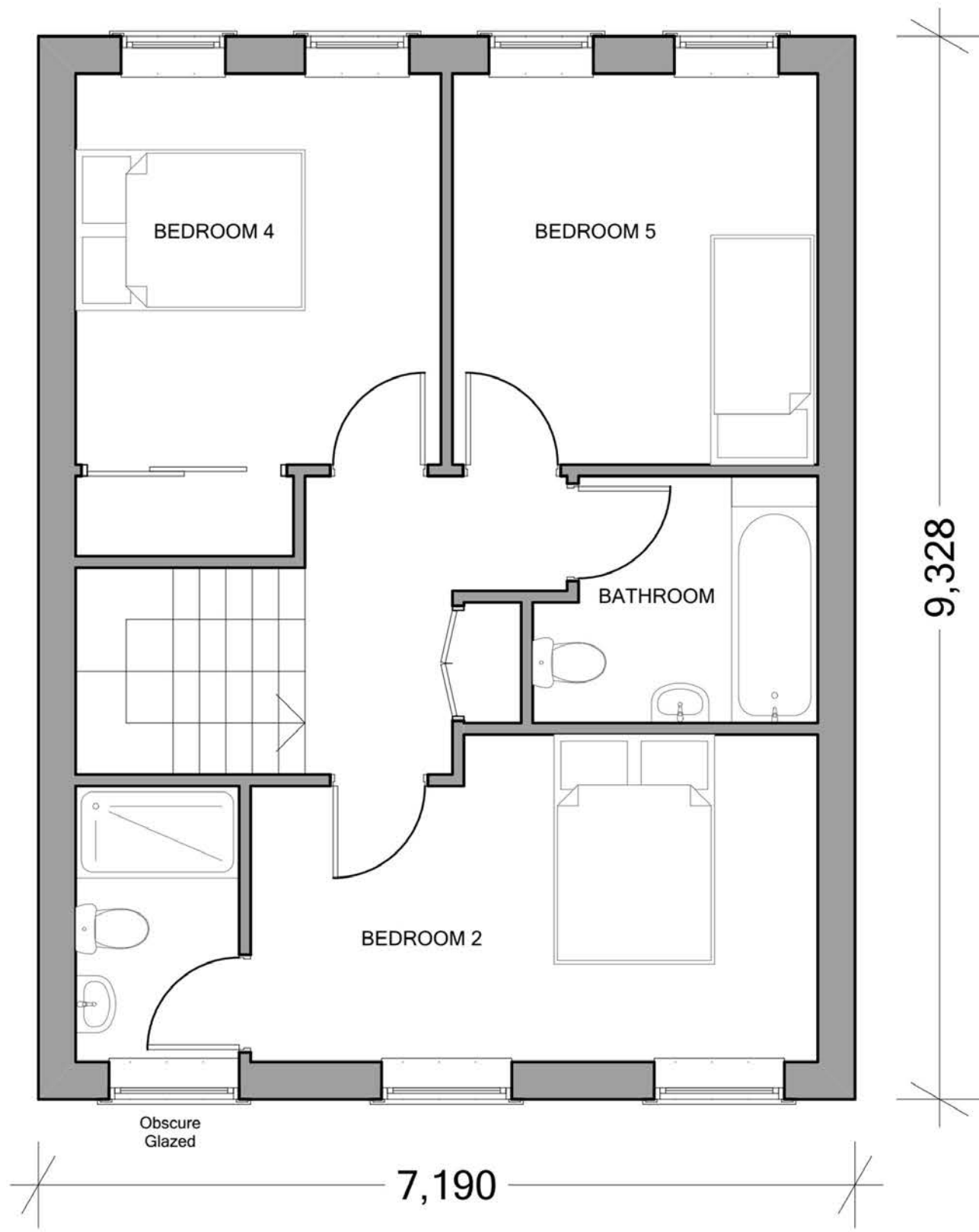
REAR ELEVATION 1:100



SIDE (EAST) ELEVATION 1:100



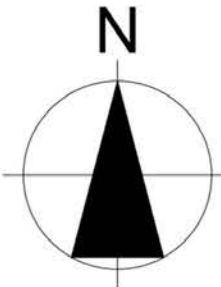
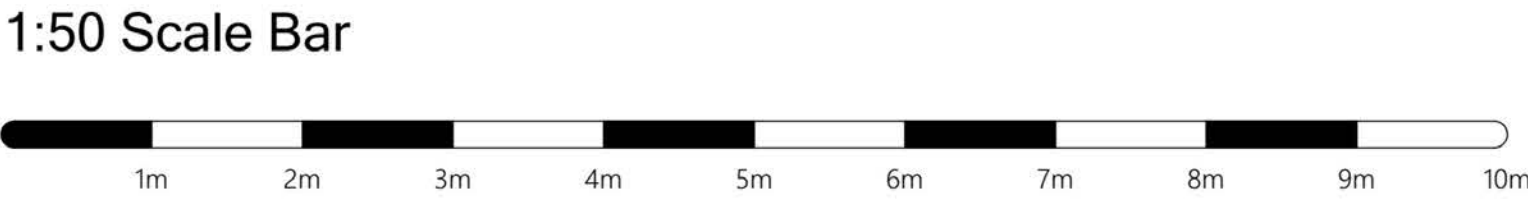
GROUND FLOOR PLAN 1:50



FIRST FLOOR PLAN 1:50

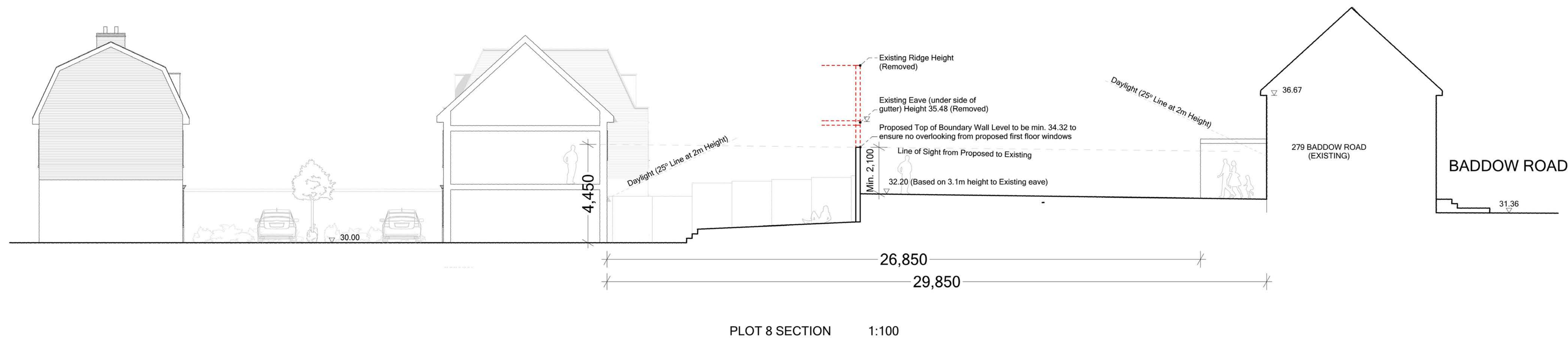
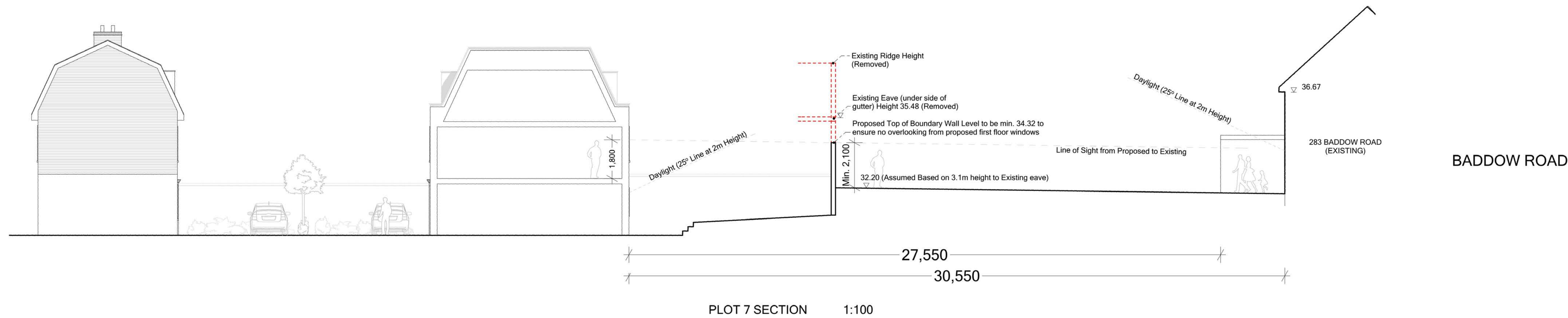
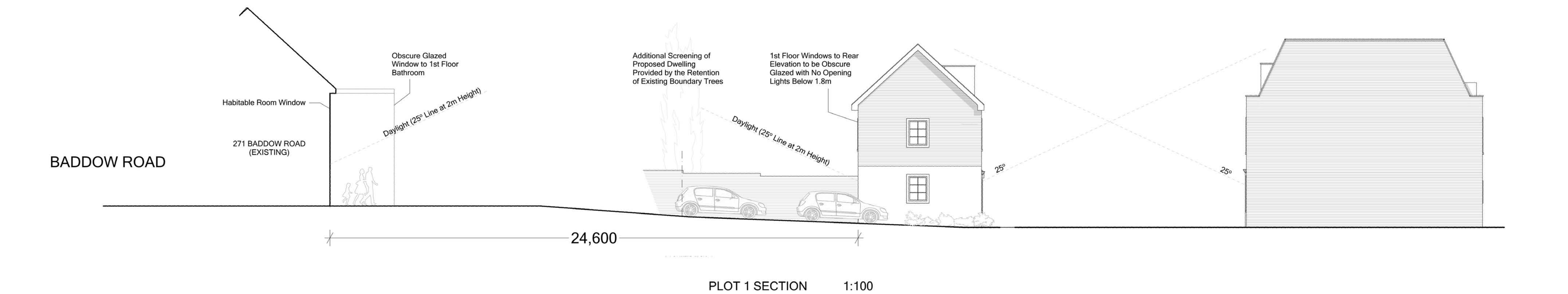


SECOND FLOOR PLAN 1:50

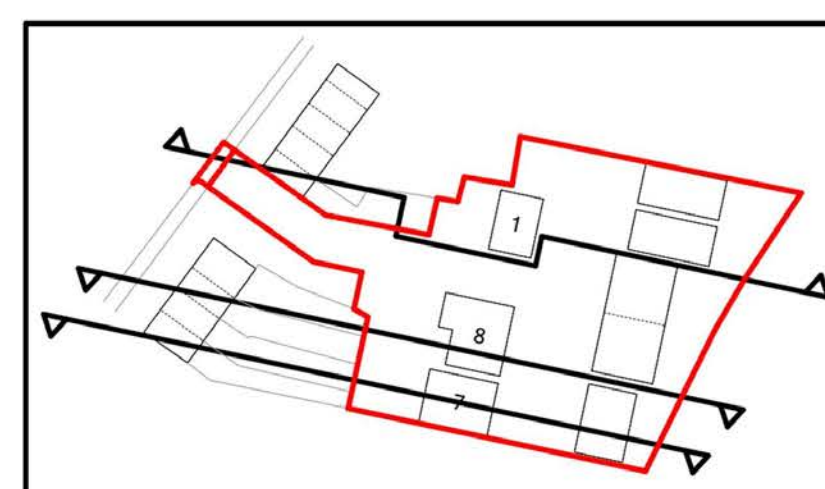


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20.12.21	C	Alterations to Floorplans & Elev.	Drawing title	PLOT TYPE G 5b7p	Drawn By	J. Fisk
19.12.21	B	Alterations to Floorplans & Elev.	Project	REDEVELOPMENT OF 275 BADDOW ROAD		
17.12.21	A	Alterations to Floorplans & Elev.	Address	275 BADDOW ROAD (ROCHESTER HOUSE)		
14.12.21		Alterations to Massing, Layout & Elev. Draft Issue		GREAT BADDOW, CHELMSFORD		
				ESSEX, CM2 7QA		
Date	Rev	Description	Note	All Scales relate to A1 paper size	Drawing No.	Revision
		© copyright			A522/13	C



SECTION KEY



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Date	Rev	Description		© copyright			

Drawing title		PROPOSED SITE SECTIONS		Drawn By		J. Fisk	
Project		REDEVELOPMENT OF 275 BADDOW ROAD					
Address		275 BADDOW ROAD (ROCHESTER HOUSE)					
		GREAT BADDOW, CHELMSFORD					
Note		All Scales relate to A1 paper size		Drawing No.		Revision	
				A522/14		B	

Appeals Report

Appeal Decisions received between 14/03/2022 and 22/03/2022

PLANNING APPEALS

Total Appeal Decisions Received	6	
Dismissed	6	100%
Allowed	0	0%
Split	0	0%

Written Reps

Seven Acres Farm Crows Lane Woodham Ferrers Chelmsford Essex CM3 8RS

Reference	20/00866/FUL
Proposal	Retrospective application for the Change of use of agricultural land to storage yard and the demolition of an agricultural building replaced with a boat storage building and the laying of hardstanding
Appeal Decision	Appeal Dismissed - 08/02/2022
Key Themes	- the impact on the character and appearance of the area.- does the scheme provide sustainable drainage- the impact on highway safety
Agreed with CCC on	- agreed that the change of use of land for caravan storage and the proposed new building would be harmful to the character and appearance of the area.- agreed that the proposal would not incorporate water management measures and ensure that it does not increase flooding elsewhere.
Disagreed with CCC on	- disagreed that the proposal would cause harm to highway safety.
Costs Decision	None

Cockshill Cottage Swan Lane Stock Ingatestone CM4 9QR

Reference	20/02007/FUL
Proposal	Rear ground floor infill extension
Appeal Decision	Appeal Dismissed - 11/02/2022
Key Themes	Green Belt (harm to openness and disproportionate additions)
Agreed with CCC on	Harm to the openness of the Green Belt and disproportionate additions
Disagreed with CCC on	
Costs Decision	None

Land East Of Myjoy Woodhill Road Sandon Chelmsford Essex

Reference	21/00554/FUL
Proposal	Construction of 3 detached dwellings with garages. Creation of 2 accesses and associated landscaping.
Appeal Decision	Appeal Dismissed - 21/03/2022

Key Themes	Sustainability; Rural Area; Infill; Character Appearance; Heritage; Highway Safety
Agreed with CCC on	Location remains comparatively inaccessible by sustainable modes of travel and lacking in nearby services; not an acceptable infill; conflict with the spatial strategy; harm to rural character; harm to setting of Listed Building; insufficient visibility.
Disagreed with CCC on	none.
Costs Decision	None

Silverwood South Hanningfield Road Rettendon Common Chelmsford Essex CM3 8HE

Reference	21/00532/FUL
Proposal	Retrospective application for the construction of an outbuilding for the housing of plant and machinery for the equestrian facility.
Appeal Decision	Appeal Dismissed - 14/02/2022
Key Themes	Inappropriate development in Green Belt; Very Special Circumstances (VSC)
Agreed with CCC on	Inappropriate development, harm to openness; No VSC
Disagreed with CCC on	
Costs Decision	None

Householder

Bechers Watchouse Road Galleywood Chelmsford CM2 8NE

Reference	21/00843/FUL
Proposal	New formation of access.
Appeal Decision	Appeal Dismissed - 09/03/2022
Key Themes	Character of the area.
Agreed with CCC on	Harmful to the character of the area.
Disagreed with CCC on	none.
Costs Decision	None

1 Bakers Lane West Hanningfield Chelmsford Essex CM2 8LE

Reference	21/01124/FUL
Proposal	Demolition of existing extensions. Two storey side and rear extensions and single storey front porch.
Appeal Decision	Appeal Dismissed - 11/02/2022
Key Themes	Key Theme of appeal was whether the proposed development was inappropriate development within the green belt by way of disproportionate additions.
Agreed with CCC on	Agreed that proposed extensions would amount to disproportionate additions. Agreed that this would cause harm to the openness of the Green Belt. Agreed would be inappropriate development.
Disagreed with CCC on	None.
Costs Decision	None