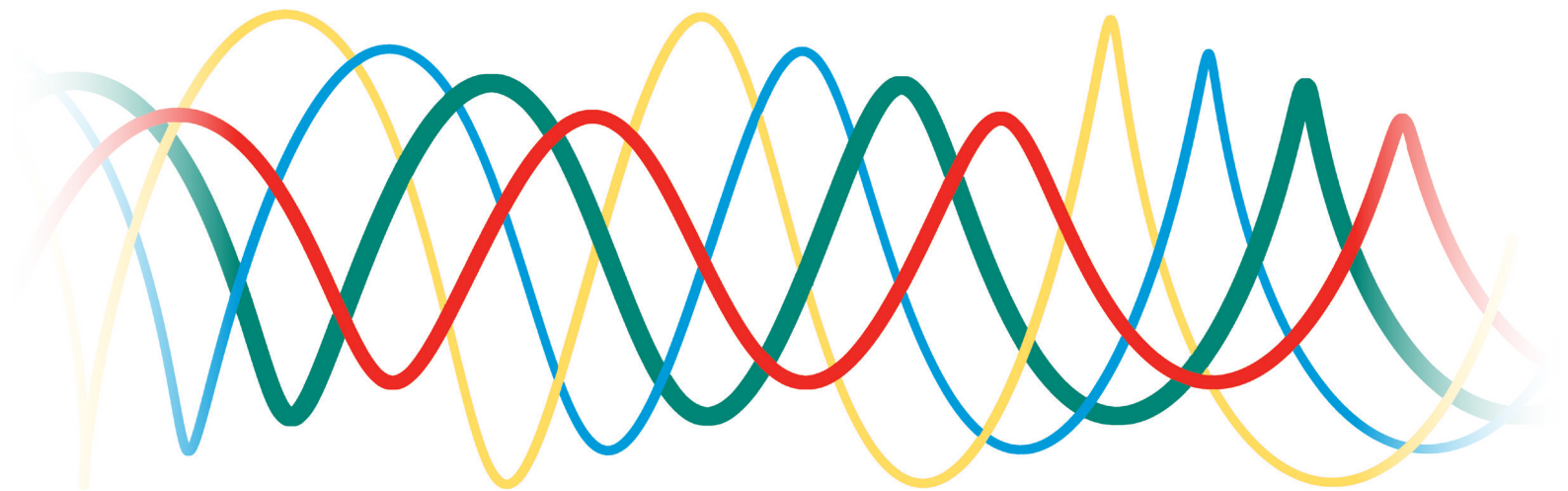


HAMMONDS FARM

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INDEPENDENT EXAMINATION OF THE CHELMSFORD DRAFT LOCAL PLAN

ID 872955

MATTER 11

MONITORING AND VIABILITY



GROSVENOR

**HAMMONDS
ESTATES**

Matter 11 – Monitoring and viability

On behalf of Grosvenor Developments Limited ('Grosvenor') and Hammonds Estates LLP ('Hammonds Estates') who are development partner and landowner of Hammonds Farm respectively ('the promoters'), the following information is provided in regard to Matter 11 – Monitoring and Viability and relevant issues raised by the Local Plan Inspector to inform the forthcoming Local Plan Examination.

Main issue – Is the Plan viable, deliverable and capable of being effectively monitored?

Qu.114 Will Strategic Policy S15 and the proposed monitoring framework set out in Chapter 10 of the Plan be effective to ensure delivery of the policy requirements during the Plan period? Are the timescales for a full or focused review of the Plan justified and consistent with national policy/guidance?

- 11.1 In respect of housing and employment delivery, the key indicators and sources of information are considered an appropriate means by which the number of dwellings and employment space being delivered can be monitored. However, it will be important to monitor this delivery against the identified trajectory to ensure that all of the required development will be delivered in the plan period. Given the promoters' view that this will not happen (see Matters Statements 1, 2, 5, 6, 6a, 6b & 7) measures must be put in place to ensure that should it become apparent that housing and employment requirements are not being delivered as anticipated in the Pre-submission Plan (PSP), action can be taken quickly to provide additional development to meet the PSP requirement.
- 11.2 Paragraph 12 of the NPPF (2012) requires plans to be kept up to date, while paragraph 153 states that local plans can be reviewed in whole or in part to respond flexibly to changing circumstances. Whilst draft Policy S15 establishes that a review will be commenced three years after adoption, in light of the likelihood that changes will be made to the standard housing need method early in 2019, which is likely to increase the level of housing need, if the PSP were to be found sound an immediate review would be required.

Qu.115 Will the viability of development be adversely affected by the requirements in the Plan including in respect of any required standards, affordable housing provision and transport and infrastructure needs? Has this been suitably tested, particularly for the large strategic growth sites?

- 11.3 As set out in the promoters' Matter 6b Statement, the promoter of the North of Broomfield site has previously identified that a larger scale of development may be unable to provide a neighbourhood centre due to viability issues (see paragraph 6b.33). The continued requirement for a neighbourhood centre for a significantly smaller development heightens concerns regarding viability.
- 11.4 Furthermore, and as set out in paragraph 6b.37 of Matter 6b, the IDP update (EB018B) identifies that there is a need for contributions of £31,240 per dwelling at the North of Broomfield site, the highest per dwelling contribution in the PSP, with the exception of North East Chelmsford. The promoter of this site has reserved its position on the matter of viability.

***Qu.116 Are the proposed key indicators and targets appropriate and measurable?
Are any others necessary for monitoring to ensure soundness of the Plan?***

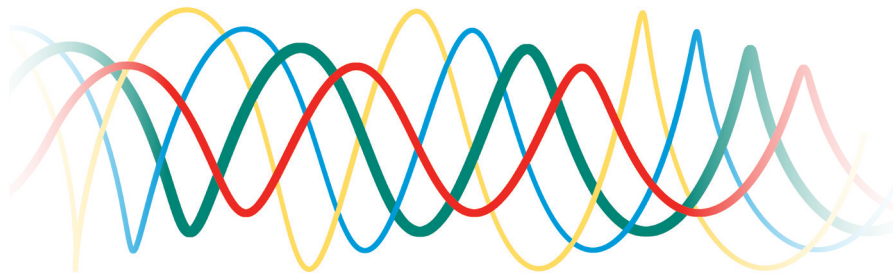
- 11.5 In the event that it is accepted that the OAN requirement is higher than identified in the PSP (see paragraph 3.24 of promoters' Matter 3 Statement), this, together with the overall plan requirement will need be updated.

Qu.117 Does the monitoring framework clearly set out what actions will be taken if targets/policies are not being achieved?

- 11.6 The monitoring framework does not set out what actions will be taken, instead deferring this to the Annual Monitoring Report. This is inappropriate, given the need to ensure that the PSP is effective. The PSP is therefore unsound.

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